



RIVERSIDE COUNTY REGIONAL PARK AND OPEN SPACE DISTRICT

# ACCESSIBILITY COMPLIANCE REPORT- 2018 UPDATE

MAY 31, 2018



PREPARED BY:



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## VICINITY MAP

The park facilities listed within this report are located all throughout the County of Riverside, within a 175 mile wide span, stretching from Jurupa Valley in the west, to Blythe at the Arizona border. The parks range in elevation from 10 feet below sea level at Lake Cahuilla Recreation Area, to 5,500 feet above sea level at Idyllwild Nature Center.



### ADMINISTRATIVE HEADQUARTERS

- A** Crestmore Manor

### REGIONAL PARKS / CAMPGROUNDS/ CABINS

- B** Bogart Park
- C** Hurkey Creek Park
- D** Idyllwild Park
- E** Kabian Park
- F** Lake Cahuilla Recreation Area
- G** Lake Skinner Recreation Area
- H** Lawler Alpine Cabins
- I** Lawler Lodge
- J** Mayflower Park
- K** McCall Memorial Park
- L** Rancho Jurupa Regional Park

### NATURE CENTERS/ WILDLIFE PRESERVES

- M** Hidden Valley Wildlife Area
- N** Idyllwild Nature Center
- O** Robidoux Nature Center
- P** Santa Rosa Plateau Ecological Reserve

### RANCHES/ MUSEUMS

- Q** Gilman Historic Ranch & Wagon Museum
- R** Jensen Alvarado Ranch
- S** Alamos Schoolhouse
- T** San Timoteo Canyon Schoolhouse





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## INTRODUCTION

The County of Riverside Regional Park and Open Space District contracted Community Works Design Group to provide an accessibility analysis update for nineteen facilities owned and operated by RCPOSD at various locations throughout Riverside County. Site visits associated with this report were conducted at a rate of 2-5 sites per week, starting January 17, 2018, and ending February 22, 2018. Two sites were revisited on April 11, 2018 to review accessibility features that were not available for review during previous visits.

Certified Access Specialist (CASP) Scott Rice of Community Works Design Group coordinated the dispersment of site visits with Park Planner, Yun Baird, whom contacted the Rangers and/ or Caretakers associated with each site for final coordination. Where Riverside County Regional Park & Open Space District were present on site, each portion of this report indicates the County personnel participating in each respective visit.

Each site visit was conducted using the same measuring and documentation tools, including but not necessarily limited to the following:

- Apple iPhone 6S Plus for photo and time documentation
- 24" Long Hammerhead Smart Level and 25' L x 1" W Measuring Tape for obtaining measurements
- Clipboard, Paper, and Pen for written documentation
- Push/Pull Gage for Door Opening Pressure

## BASIS OF ACCESSIBILITY ANALYSIS

At the request of the County of Riverside, this report is limited to the analysis of the *publicly* accessible portions of the subject property against **current** accessibility codes and standards, including but not necessarily limited to 2016 California Building Code (CBC) Chapter 11B, and Titles II and III of the 2010 Americans with Disabilities Act (ADA) Standards for Accessible Design. While some portions of this report overlap into employee-only areas, the focus of the report is for identifying accessibility barriers for the public. The findings of this report do not release the County's responsibility for accommodating accessibility for employees per Title I of the Americans with Disabilities Act.

## PARK ITEMS GENERALLY NOT REQUIRED TO BE ACCESSIBLE

The Americans with Disabilities Act and California Building Code provide a comprehensive scoping of site and building features that shall be constructed without accessibility barriers. Some amenities are not clearly defined in either ADA or CBC, including but not limited to equestrian hitching posts and bike racks.

Accordingly, where the aforementioned items are seen in photographs throughout the report, these items will be excluded from accessibility compliance recommendations.

## APPLICABILITY OF THE CALIFORNIA HISTORIC BUILDING CODE

Health and Safety Code Section 18955 establishes a definition for "Qualified Historical Building or Property," which covers any building, site, object, place, location, district or collection of structures, and their associated sites, deemed of importance to the history, architecture or culture of an area by an appropriate local, state or federal governmental jurisdiction.





This California Historic Building Code (CHBC) Section 8-102.1.4 includes provisions for Qualified Historical Buildings or properties to have their existing use or occupancy continued if such use or occupancy conformed to the code or standards of construction in effect at the time of construction, as long as such use does not constitute a distinct hazard to life safety as defined by the CHBC.

CHBC Section 8-602.2 states that if the historical significance or character-defining features (of a building or site) are threatened, alternative provisions for access may be applied pursuant to Section 8-6, provided the following conditions are met:

- 1) These provisions shall be applied only on an item-by-item or a case-by-case basis.
- 2) Documentation is provided, including meeting minutes or letters, stating reasons for the application of the alternative provisions. Such documentation shall be retained in the permanent file of the enforcing agency.

The historical significance of several of the Riverside County Parks buildings and sites shall be weighed in the assessment of barrier removal, including (but not necessarily limited to) the following buildings and sites:

- Alamos Schoolhouse
- Crestmore Manor
- Gilman Ranch
- Jensen Alvarado Ranch
- Lawler Lodge
- San Timoteo Canyon Schoolhouse

### READILY-ACHIEVABLE BARRIER REMOVAL (NON-COUNTY/ VENDOR AREAS ONLY)

The Americans with Disabilities Act (ADA) requires public accommodations (businesses and non-profit organizations) to provide goods and services to people with disabilities on an equal basis with the rest of the public. Businesses and non-profit organizations that serve the public are to remove architectural barriers when it is “readily achievable” to do so; in other words, when barrier removal is “easily accomplishable and able to be carried out without much difficulty or expense.” The decision of what is readily achievable is made considering the size, type, and overall finances of the public accommodation, due to the fluctuation of funding, and the nature and cost of the access improvements needed. Barrier removal that is difficult now may be readily achievable in the future as finances change. The findings and recommendations provided within this document shall be dovetailed into CAPRA Accreditation procedures, as previously coordinated by the Riverside County Regional Park and Open Space District team.

### FINDINGS/ DETERMINATION:

This report is issued to the requirements of the Construction-Related Accessibility Standards Compliance Act (CRASCA) where applicable. In the opinion of the CASp, the inspected structures and areas of the site need correction to meet construction-related accessibility standards. Refer to the contents of this report for full identification and description of the structures or areas of the site that need correction and the correction needed, along with a schedule of completion for each of the corrections within a reasonable timeframe.

Scott Rice ASLA, LEED AP, CASp  
 Certified Access Specialist CASp-709

### GENERAL OBSERVATIONS

During the site visits associated with the preparation of this report, it was evident that some steps had been taken to remove accessibility barriers present in the previous Accessibility Compliance Report prepared by Community Works Design Group and Combs Marr Architects in 2000. On the other hand, several additional barriers not previously recorded have been noted in this report. This report also reflects the County’s directive to evaluate accessibility in terms of current codes (2010 ADA, 2016 California Building Code, et al), which will be more stringent than prevailing codes at the time of construction of many of the park amenities.

The following is a partial list of the most common and prevalent access deficiencies noted system-wide that also reflect the least cost to correct:



Evidence of older signage supplemented with newer addition at Rancho Jurupa Park.



Above: Dilapidated sign at Rancho Jurupa Park  
 Below: Accessible walkway hindered by plant litter.



- 1) MAINTENANCE OF ACCESSIBLE FEATURES: Per CBC 11B-108, all operable features of facilities and equipment that are required to be accessible and useable by persons with disabilities shall be kept in operable working condition. Only isolated or temporary interruptions in service or accessibility due to maintenance or repairs shall be permitted. This extends to maintaining signage and striping for legibility and contrast. Throughout the park system, accessibility markings were fading or flaking away. Walkways were cracked and lifted due to tree root growth. Erosion from unimproved areas covered many accessible paths with loose, soft debris. Door closers were in need of oiling and adjustment

*ACTION ITEM: All facilities should be visited periodically by a designated Staff member or County Consultant to ensure that accessibility is not hindered by lack of maintenance. Key maintenance items include, but are not limited to the following:*

- *Keeping accessible walks in stable, firm, slip resistant with no horizontal gaps exceeding 1/2” in width*
- *Painting striping/ ISA symbols at accessible parking spaces*
- *Adjusting door closers for proper operating pressure*
- *Monitoring sink faucets for metered shut-off*
- *Adjusting drinking fountain stream height*





2) SIGNAGE: At every facility within the County-wide system, there were many signs that were either not current, missing information, or not legible. This report contains recommendations for standardizing accessibility signage throughout the park system.

*ACTION ITEM: Remove all non-compliant signage and replace with standardized Towing, Reserved Parking, Accessible Building, etc. signage as noted throughout this report.*



*Pictured: One of several bulletin boards at Bogart Park..*

3) POSTINGS AT NON-ACCESSIBLE VIEWING OR REACH RANGE: Message boards are present at all County Park facilities. Many messages on these boards are posted in 12 point or similar sized font, and posted as high as 72" above finish floor. It is not reasonable to expect a wheelchair user to read such messages, especially when the message boards are located on non-accessible surfaces.

*ACTION ITEM: Postings should follow the font size guidelines shown in the chart below. Additionally, sans serif fonts should be used for all exhibits, panels, labels, maps and postings.*

Viewing Distance from eyes to exhibit	Height in Inches	Approximate Font Point
≤12"	3/16"	18
>12" to ≤24"	1/4"	26
>24" to ≤48"	3/8"	37
>48" to ≤72"	1/2"	50
>72"	1/2", plus 1/8" per 24" of viewing distance above 72"	50, plus 14-points per 24" of viewing distance above 72"

4) PARKING SPACE MARKINGS: Accessibility is designated with a graphic logo representing a wheelchair user. This symbol is officially known as the International Symbol of Accessibility, or ISA. For Designated Accessible Parking Spaces, the ISA is required to be square in shape, 36" minimum, centered at the leading edge of the parking space, so that it is still visible when a vehicle is occupying the space. Stencil templates for the ISA are readily available online. Here are a few examples of free-formed ISA markings present at various parks within the Riverside County system:



*Official ISA (ada.gov)*



*Idyllwild Park*



*Idyllwild Nature Center*

*ACTION ITEM: Obtain and utilize a stencil that conforms to the size and proportion requirements for the International Symbol of Accessibility (ISA). Utilize one standardized color code for blue and white paints.*



*Lake Skinner - Campground C*



*Non-accessible containers. Pictured at Bogart Park*

5) NON-COMPLIANT SITE FURNISHINGS: Benches, picnic tables, drinking fountains, and waste receptacles are often overlooked in accessibility analysis. One item noted in the Riverside County Parks system is that a commonly used waste and recycling container does not meet accessible reach range requirements. If these models continue to be used, they will continue to need to be supplemented with an accessible counterpart.

*ACTION ITEM: Provide waste receptacles with operable parts within accessible reach ranges in direct proximity to non-compliant receptacles. Replace benches with a standardized accessible model at all sites.*





6) OUTDATED TERMINOLOGY: Several sightings of the word “HANDICAP” were observed during our site visits. This term was once the common term to describe individuals with disabilities. However, the current accepted method is to place the focus on “what” is being provided, rather than “whom” is being accommodated. Therefore, parking spaces, restrooms, and other facilities are described as being “ACCESSIBLE”. For future improvements, if there is a need to specifically call out certain features, the word “HANDICAP” should be omitted.

*ACTION ITEM: Remove all references to “HANDICAP” in all signage and publications. Replace with “ACCESSIBLE”.*



RV Campground at Rancho Jurupa Park



Outdated “HANDICAP” terminology at Designated Accessible Fishing Area; Lake Skinner



Portable Accessible Restroom at Primitive Group Campground at Lake Skinner



Mini Golf Course at Rancho Jurupa Park



Press to continue.  
(This image shows a functional automatic door activation button within proper reach range; no corrections necessary)







ACCESSIBILITY COMPLIANCE REPORT FOR:  
**CRESTMORE MANOR**

4600 Crestmore Drive  
 Jurupa Valley, CA 92509

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# CRESTMORE MANOR SITE PLAN

CRESTMORE ROAD



**Legend**

	Sufficient Path of Travel		Building		Restroom	
	Deficient Path of Travel		Parking		Building Entrance	
	Deficiency					

NORTH  
NOT TO SCALE

## INTRODUCTION

Crestmore Manor serves as the administrative headquarters for the Riverside County Regional Park & Open Space District. Portions of the campus are also used as a venue for weddings and conferences. Due to the semi-rural location of Crestmore Manor, visitors to the site primarily arrive by private vehicle. Original construction of Crestmore Manor dates back to the 1950's, with more recent modifications made periodically over time.

The accessibility compliance inspection for Crestmore Manor was performed on Friday, February 9, 2018, with a start time of approximately 9:00 am. Scott Rice, CASp-709 toured the facility with direct accompaniment of Yun Baird, Park Planner.



*Pictured: Entry drive from Crestmore Road into Crestmore Manor. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one publicly-accessed vehicular ingress/ egress point that serves the property from Crestmore Road. Nowhere along this paved entry drive is the sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on the facility side of Crestmore Road, nor is a walkway provided. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is RTA. No existing routes travel past the entrance to the park site. The closest RTA route to the site is Route 49. The closest bus stop is located at Mission Boulevard and Crestmore Road, approximately 1 mile from Crestmore Manor.

*ACTION: No action required by ADA nor CBC at the time of this report.*





# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Crestmore Manor includes a total of 186 marked off-street parking spaces, all contained within one contiguous lot, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				Provided > Required?
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	
General Lot	186	164	14	2	6	6	3	2	Yes
<b>TOTAL</b>	<b>186</b>	<b>164</b>	<b>14</b>	<b>2</b>	<b>6</b>				

\*Parking count will change with Conference Center construction.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

There are two separate groupings of Designated Accessible Parking Spaces within the parking lot. One grouping of 2 spaces is located nearest to the entrance of the Manor House, allowing direct access to the building entrance without crossing hazardous vehicular area. A grouping of 4 spaces is located on the western edge of the parking lot, requiring the accessible path to cross a vehicular route by means of a striped crossing. The dispersion of Designated Accessible Parking Spaces throughout the site currently allows for accessible parking to be in closest available proximity to each of the main building entrances, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

All Designated Accessible Parking Spaces observed generally met or exceeded the dimensions of 9' wide x 18' length. Two of the three Van Accessible space included an 8' wide access aisle/ loading zone, with the third measuring about 6" deficient in width. All parking signage appeared to be mounted at proper heights (80" clear when signage is placed within the accessible path/ 60" min. above finish floor to the bottom of the sign outside accessible paths). Loading zone diagonal striping was consistently observed at 3' on-center spacing. "NO PARKING" was NOT observed in 12" tall white painted letters at any of the loading areas. International Symbol of Accessibility was provided at each Designated Accessible Parking Space. All Designated Accessible Parking Spaces and adjacent access aisles were mostly found to be compliant in slope (1:48 maximum). Detectable warning (truncated domes) were NOT provided in Federal Yellow color, with proper contrasting surface resiliency, between accessible walkways and adjacent parking/ vehicular areas, where these walkways had a zero-curb condition (walkway and parking meeting flush in elevation to one another). A few action items are noted on the following page:

*ACTION ITEM 1.3.1: The left edge of Designated Accessible Parking Space (DAPS) #1 is not defined beyond the end of the railroad tie header. Provide a painted blue stripe to define the full space, in compliance with CBC 11B-502.6.4.2.*

*ACTION ITEM 1.3.2: Provide "NO PARKING" in 12" tall characters at the leading edge of the passenger loading zones at DAPS #1, 3, 5, in compliance with CBC 11B-502.3.3.*

*ACTION ITEM 1.3.3: Provide "Minimum Fine: \$250" signage at ALL parking spaces as defined by CBC 11B-502.6.2; Recommendation is to replace all signage with the Caltrans R99 signage shown in the beginning of this report. Signage shall maintain 60" min. clearance where signs are located outside accessible routes, and 80" min. clear where located within accessible routes, as per CBC 11B-502.6.*

*ACTION ITEM 1.3.4: Readjust leaning parking signage at DAPS #2*

*ACTION ITEM 1.3.5: Grind and overlay asphalt paving to eliminate areas exceeding 1:48, as per CBC 11B-502.4, Exception #1. Excessive slope was noted at DAPS #1, 2, and the loading zone between 1 & 2.*

*ACTION ITEM 1.3.6: Restripe passenger loading zone between DAPS #1 and 2 to reflect full 8' width required for van parking spaces, in compliance with CBC 11B-502.2, Exception #1.*



Designated Accessible Parking Spaces #1 (Left) and #2 (Right), located near the Manor House main entrance.



Designated Accessible Parking Spaces #3-6 (counted left to right), located at the western edge of the parking lot.



Example of excessive slope observed within the passenger loading zone between DAPS #1 and 2;





## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 WALK FROM PARKING TO MANOR HOUSE ENTRANCE

The existing walkway from the Designated Accessible Parking Spaces 1-2 to the Front Door of the Manor House alternates between asphalt, broom finish concrete, and brick. There is excessive cross slope immediately adjacent to the parking, gaps exceeding 1/2" width at expansion joints, and a two-riser stair set with no ramp present at the porch area. This walk also leads into the parking lot with no elevation change (zero-curb), without truncated domes to provide detectable warning of pedestrians entering a hazardous vehicular area.



GENERAL NOTE: Action Items 2.1.1, 2.1.3, and 2.1.5 listed below will be corrected as part of the Crestmore Conference Center project, per plans prepared by TR Design Group (see Section 2.5). Adequate signage shall be provided to direct visitors to the accessible portions of the campus when non-accessible areas are encountered.

*ACTION ITEM 2.1.1: Remove and replace concrete at natural gray concrete walkway immediately adjacent to Parking, with new concrete surface not exceeding 1:48 cross slope as per CBC 11B-403.3.*

*ACTION ITEM 2.1.2: Modify concrete surface to eliminate gaps to comply with CBC 11B-302.3. Openings in floor or ground surfaces shall not allow passage of a sphere more than 1/2" diameter.*

*ACTION ITEM 2.1.3: Provide a continuous accessible route to the porch level. This will likely require construction of a ramp at a location that does not detract visually from the historic character of the building. Ramp shall comply with the full requirements of CBC 11B-405.*

*ACTION ITEM 2.1.4: Provide handrails and contrasting tread stripes to at least one portion of the existing stairs, in compliance with CBC 11B-504.*

*ACTION ITEM 2.1.5: Provide detectable warning along the entire walkway edge abutting the parking lot, in compliance with CBC 11B-247.*



Yellow rectangle indicates location of future truncated domes, as per Action Item 2.1.5.

### 2.2 WALK FROM PARKING TO CARRIAGE HOUSE & COURTYARD

The pedestrian route from the remainder of the Designated Accessible Parking Spaces to the Carriage House and Courtyard crosses a vehicular drive at a zero-curb condition without the presence of detectable warnings. Cracked concrete and excessive gaps are present within the traveled path near the drive crossing. Cross slope readings at some brick areas well exceeded 1:48 at plaza areas, where turning movements are anticipated. However, portions of non-compliant paving areas appear to fall within the footprint of planned building renovation.



NOTE: Action Items 2.2.1 and 2.2.2 listed below will be corrected as part of the Crestmore Conference Center project, per plans prepared by TR Design Group (see Section 2.5).

*ACTION ITEM 2.2.1: Modify concrete surface to eliminate gaps to comply with CBC 11B-302.3. Openings in floor or ground surfaces shall not allow passage of a sphere more than 1/2" diameter.*

*ACTION ITEM 2.2.2: Provide detectable warning along the entire zero-curb walkway edges abutting both sides of the designated crossing area, in compliance with CBC 11B-504.*



Replace uneven concrete, address paving gaps, and provide truncated domes where the walkway meets parking at a zero-curb condition.



### 2.3 COURTYARD

The existing walkway from the Designated Accessible Parking Spaces 1-2 to the Front Door of the Manor House alternates between asphalt, broom finish concrete, and brick. There is excessive cross slope immediately adjacent to the parking, gaps exceeding 1/2" width at expansion joints, and a two-riser stair set with no ramp present at the porch area. This walk also leads into the parking lot with no elevation change (zero-curb), without truncated domes to provide detectable warning of pedestrians entering a hazardous vehicular area.



*ACTION ITEM 2.3.1: Remove and replace courtyard and plaza paving where multi-directional travel is anticipated, with the new surface not exceeding 1:48 slope in any direction as per CBC 11B-403.3 and 11B-406.3.2.*

*ACTION ITEM 2.3.2: Modify concrete surface to eliminate gaps to comply with CBC 11B-302.3. Openings in floor or ground surfaces shall not allow passage of a sphere more than 1/2" diameter.*

### 2.4 WALKWAY TO GUEST SERVICES

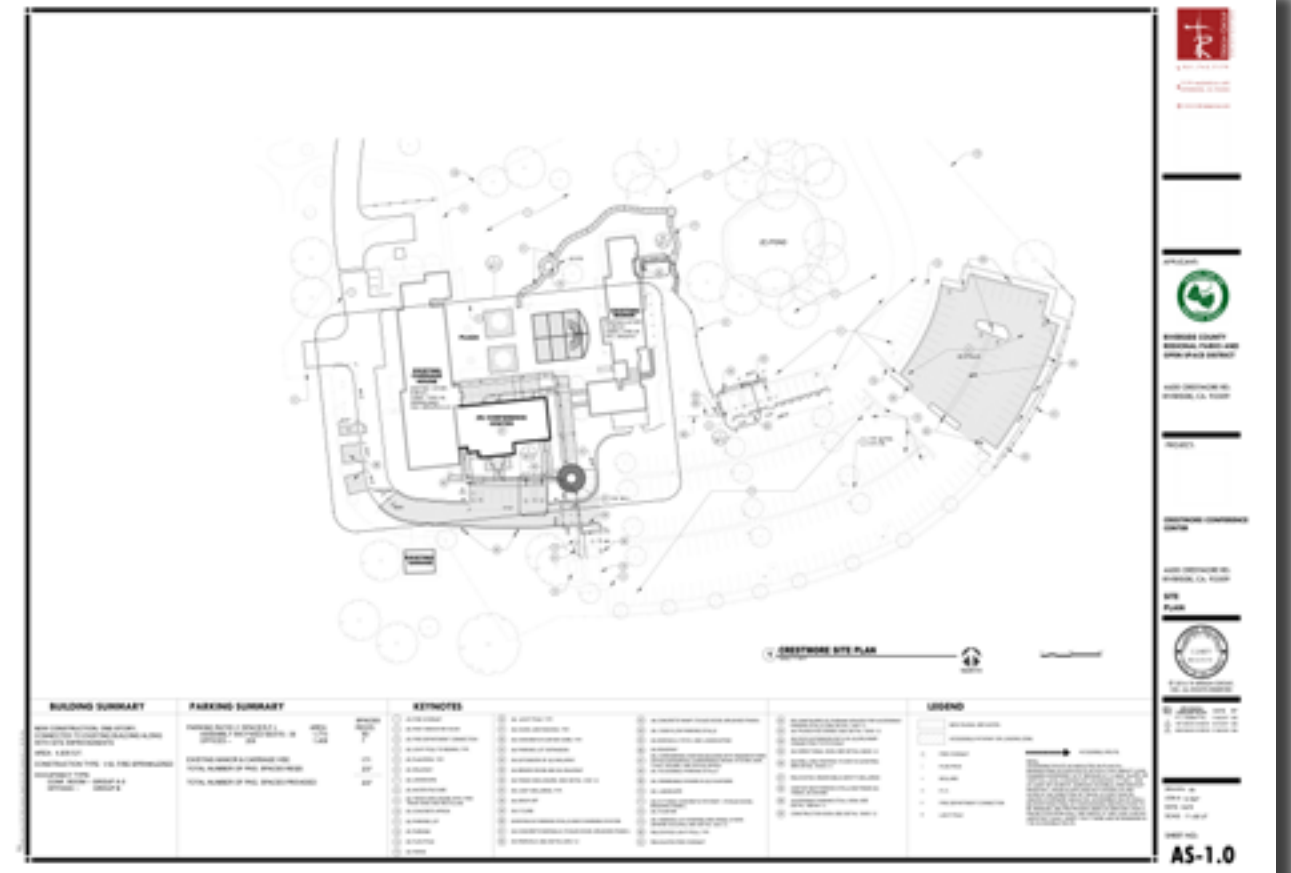


This walkway also appears to fall within the footprint of proposed upcoming construction. However, the existing benches are not accessible and should not be reused for accessible seating, as they are not 20" min. deep, nor 48" min. length, nor do they provide back support.

*ACTION ITEM 2.4.1: Remove and replace existing benches with furnishings that fully comply with CBC 11B-903.*

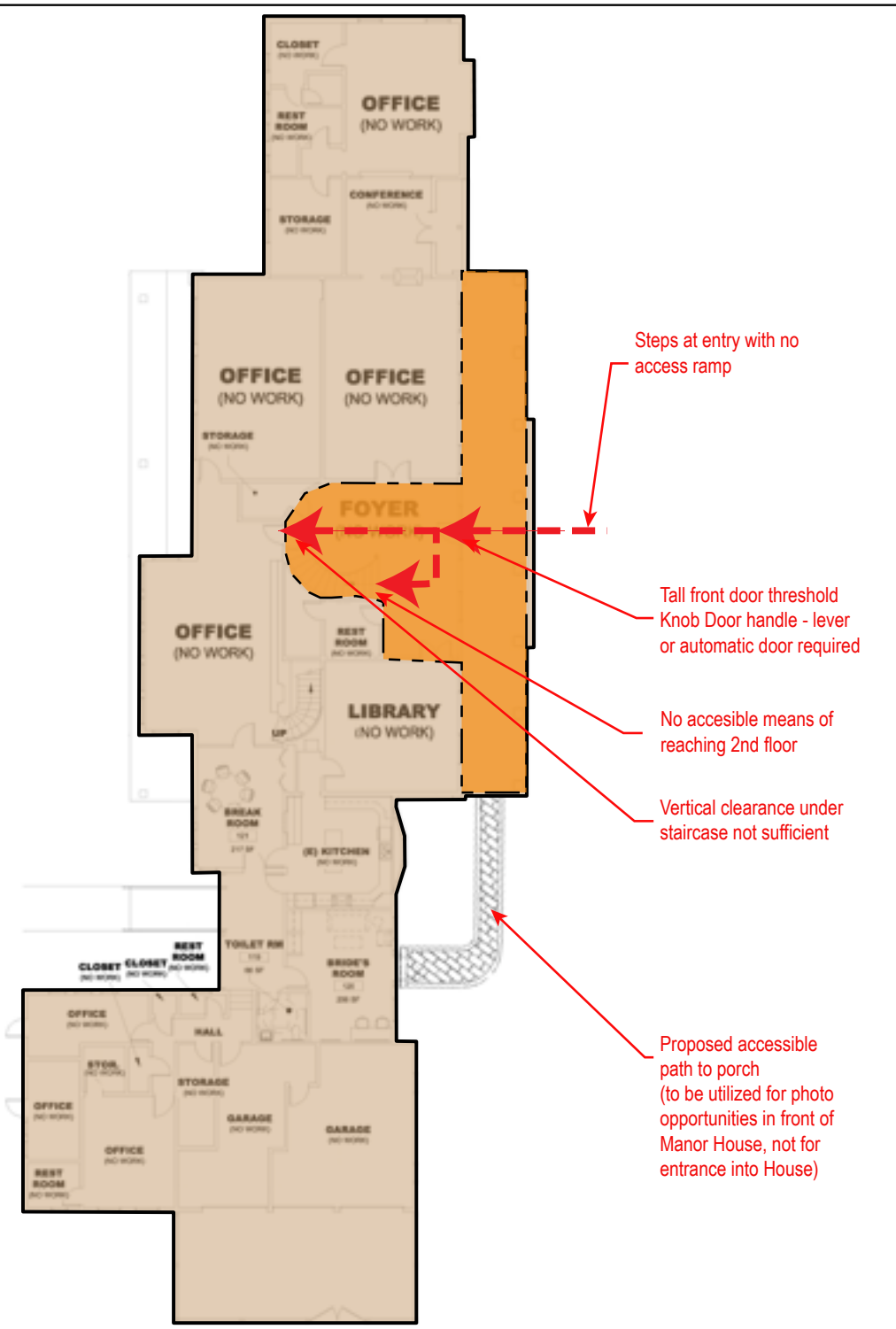
### 2.5 PROPOSED BUILDING IMPROVEMENTS

The site plan shown below indicates that planned building construction will occur in an area that overlaps many of the accessibility deficiencies noted within this report. The accessibility analysis of Crestmore Manor should be revisited, as renovations may create unexpected accessibility barriers not previously encountered.





# MANOR HOUSE FLOOR PLAN



Steps at entry with no access ramp

Tall front door threshold  
Knob Door handle - lever or automatic door required

No accesible means of reaching 2nd floor

Vertical clearance under staircase not sufficient

Proposed accessible path to porch (to be utilized for photo opportunities in front of Manor House, not for entrance into House)

**Legend**

	Sufficient Path of Travel		Building		Accessible Portions of Building
	Deficient Path of Travel		Building Entrance		
	Deficiency				

NORTH  
 NOT TO SCALE

## 3.0 BUILDINGS

There are currently three major buildings and one ancillary building at Crestmore Manor. The Owner/tenant currently is finishing plans to renovate and consolidate buildings, as previously mentioned in this report. These revisions protect the historical integrity of the Manor House by providing accessible accommodations within new construction areas.

### 3.1 MANOR HOUSE

The Manor House serves as private offices for Riverside County Parks staff. Public interaction with this building is limited to individuals associated with Parks Management.

*Notable Access Barriers:*

- Entry steps/ lack of access ramp
- Tall front door threshold
- Knob handle - lever or automatic door required
- Vertical clearance under staircase
- Lack of accessible restrooms
- No accessible means of reaching 2nd floor



Access to the Front Door of the Manor House is impeded by a pronounced threshold. However, this door is not currently used as a primary entrance point into the building.



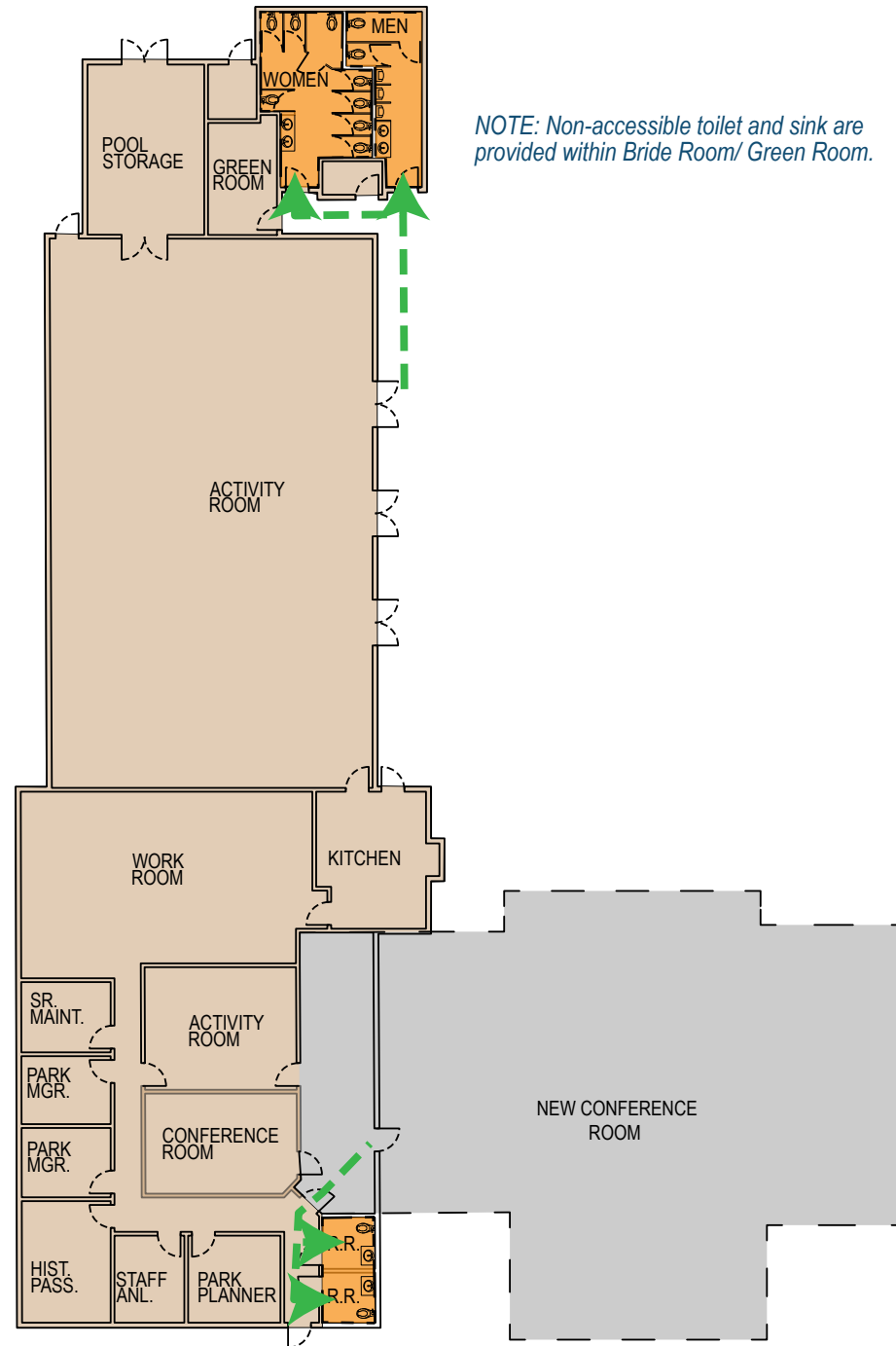
Handrails are not present anywhere along the two-step level change leading to the front door.



The underside of the curved portion of the staircase, as well as the arched doorway beneath, provide vertical obstructions without cane detection warning.



# CARRIAGE HOUSE FLOOR PLAN



NOTE: Non-accessible toilet and sink are provided within Bride Room/ Green Room.

**Legend**

- Sufficient Path of Travel
- Deficient Path of Travel
- Deficiency
- Building
- Building Entrance
- Accessible Portion of Restroom
- NORTH NOT TO SCALE

## 3.2 CARRIAGE HOUSE

Previously in the report, it was mentioned that there are current plans to renovate the on-site buildings. The following items relate to portions of the building not slated for remodeling efforts:

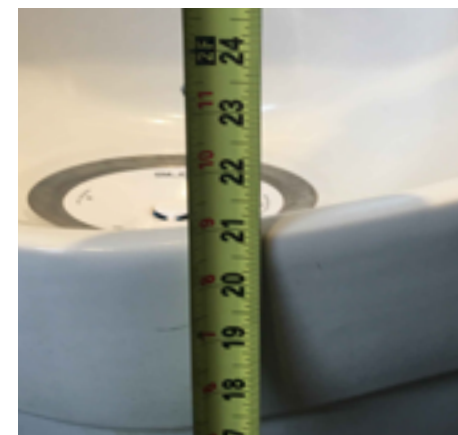
*Notable Access Barriers:*

**MEN'S RESTROOM**

- Geometric signage mounted too low at restroom doors
- Urinal mounted 21" AFF (17" maximum allowed)
- Baby Changing table located inside accessible toilet compartment
- Toilet paper too close to front of toilet (7" min- 9" max allowed)



Center of geometric sign is required to be 60" AFF. Sign is currently 57" to 58".



Urinal rim is required to be 17" max AFF. Currently observed at 20" to 21".



Baby Changing Stations cannot be located within Designated Accessible Toilet Compartments.



Centerline of Toilet Paper is required to be between 7" and 9" in front of toilet. Current location is approximately 3" in front of toilet.



Overview of Men's Room Accessible Toilet Compartment; need to remove baby changing from toilet compartment.





### WOMEN'S RESTROOM

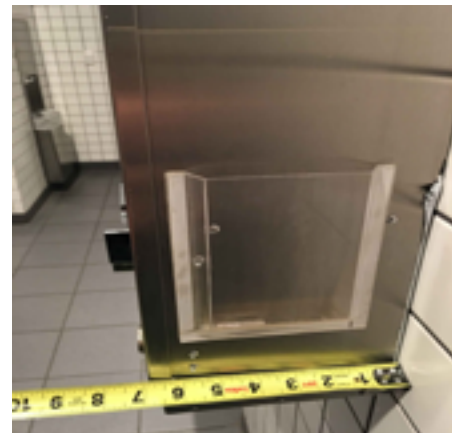
- Baby Changing table located inside accessible toilet compartment
- Feminine Hygiene Products Dispenser has operable parts at 48" AFF (40" max allowed)
- Dispenser projecting 7" out from wall



Baby Changing Stations cannot be located within Designated Accessible Toilet Compartments.



Operable parts of dispenser exceed 40" maximum AFF.



Maximum projection from wall for protruding objects is 4". Dispenser currently exceeds 7" projection.



Overview of Women's Room Accessible Toilet Compartment. The Baby Changing Station will need to be relocated out of Accessible Toilet Compartment.

### BRIDE ROOM/ GREEN ROOM

- Safe under sink impedes knee space
- Towel Dispenser at 46" AFF (40" maximum allowed)
- All Gender toiler room signage provided, but toilet room entrance is only 28" wide
- Coat hooks mounted at 64" (48" maximum allowed)



Waste container and property safe obstruct the wheelchair approach to the sink.



Paper Towel dispenser exceeds 40" AFF maximum at the towel exit point.



Toilet compartment entrance is only 28" wide.

### 3.3 GARDEN ROOM

This building is slated for demolition as part of the previously mentioned project.

*ACTION: No action recommended, as long as the plans for the proposed building improvements provide full accessibility to all remaining improvements.*

### 3.4 ANCILLARY BUILDINGS

The remainder of the buildings on site are not for public access and therefore are exempt from this report. This does not relieve the County from accommodating specific needs of employees with disabilities, as mandated by Title I of the Americans with Disabilities Act (ADA).



## SUMMARY OF CORRECTIVE ITEMS:

### CRESTMORE MANOR

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage	\$250	Immediate	
<b>1.0 PARKING</b>				
1.3.1	Extend Painted blue line at left edge of parking space	\$100	with Conf Center project	
1.3.2	Paint "NO PARKING" at access aisle (3 locations)	\$300	with Conf Center project	
1.3.3	Provide "MINIMUM FINE \$250" signage/ Install Caltrans R99 signage (6 locations)	\$600	with Conf Center project	
1.3.4	Adjust tilted sign	\$50	Immediate	
1.3.5	Grind/ Overlay Asphalt at parking and access aisles (multiple locations - assume 1,000 SF)	\$2,500	with Conf Center project	
1.3.6	Restripe passenger loading zone	\$250	with Conf Center project	
<b>2.1 WALK FROM PARKING TO MANOR HOUSE ENTRANCE</b>				
2.1.1	Remove/ replace concrete near parking (assume 250 SF)	\$2,500	with Conf Center project	
2.1.2	Fill in gaps 1/2" and wider	\$500	add to Conf Center project	
2.1.3	Construct ramp to porch level	\$15,000	with Conf Center project	
2.1.4	Provide handrail and stripes at portion of existing stairs	\$750	add to Conf Center project	
2.1.5	Add truncated domes at walkway/ parking edge	\$2,500	with Conf Center project	
<b>2.2 WALK FROM PARKING TO CARRIAGE HOUSE &amp; COURTYARD</b>				
No immediate action recommended, as this is within the area designated for building and site renovation efforts				
<b>2.3 COURTYARD</b>				
2.3.1	Remove/ replace courtyard paving where it currently exceeds 1:48 in multi-directional travel locations (assume 500 SF)	\$2,500	add to Conf Center project	
2.3.2	Fill in gaps 1/2" and wider	\$500	add to Conf Center project	
<b>2.4 WALKWAY TO GUEST SERVICES</b>				
No immediate action recommended, as this is within the area designated for building and site renovation efforts				
<b>3.1 MANOR HOUSE</b>				
3.1.1	Remodel porch and front door threshold to accommodate wheelchair access; includes new door hardware, push-button automatic door opener, etc.	\$15,000	June 2019	
3.1.1 interim	Due to excessive cost of repair, recommend providing signage directing visitors to the currently accessible entrance	\$500	Immediate	
3.1.2	Provide adequate vertical clearance for passageway under stairs (potential structural constraints)	\$10,000	June 2021	
3.1.2 interim	Provide signage and cane detection rails to warn visitors of overhead clearance limitations	\$500	Immediate	
3.1.3	Provide elevator to 2nd floor (potential structural constraints)	\$75,000	June 2025	
3.1.3 interim	Provide signage directing to accessible meeting room	\$250	Immediate	
<b>3.2 CARRIAGE HOUSE</b>				
3.2.1	Adjust Geometric Signage to proper height (Mens and Womens restrooms)	\$100	Immediate	
3.2.2	Reset urinal to lower height - will require plumbing and refinishing	\$2,500	June 2019	

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
3.2.3	Adjust location of toilet paper dispensers	\$500	December 2018	
3.2.4	Relocate Baby Changing station to location outside accessible toilet compartments (no feasible alternate location identified within restrooms)	\$2,500	June 2019	
3.2.4 interim	Provide baby changing station in secured private room on-site, with signage directing users to this location	\$500	December 2018	
3.2.5	Bride room restroom - structural constraints present-recommend providing signage indicating restroom is not accessible, and directions to the accessible restroom directly adjacent to bride room	\$500	June 2018	
TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)		\$136,150		







ACCESSIBILITY COMPLIANCE REPORT FOR:  
**BOGART PARK**

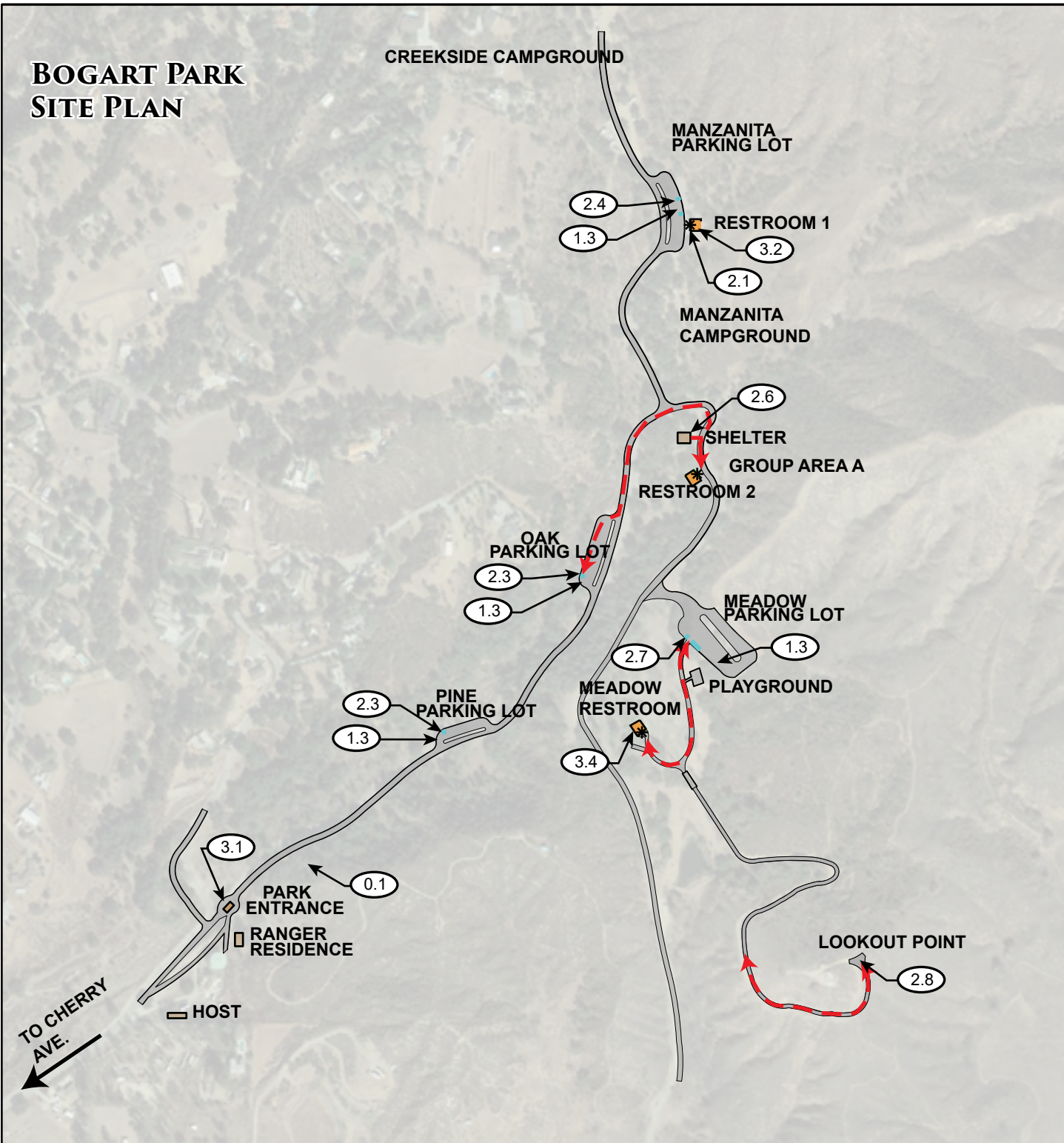
9600 Cherry Avenue  
 Cherry Valley, CA 92223

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# BOGART PARK SITE PLAN



**Legend**

	Sufficient Path of Travel		Building		Restroom
	Deficient Path of Travel		Parking		Building Entrance
	Deficiency				

NORTH  
NOT TO SCALE

## INTRODUCTION

Bogart Park is located in the Oak-laden foothills just northeast of Cherry Valley, and north of Beaumont. The park site consists of campgrounds, day use areas and trails. Due to the semi-rural location of Bogart Park visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Bogart Park was performed on Friday, January 19, 2018, with a start time of approximately 8:30 am. Scott Rice, CASp-709 toured the facility with the remote coordination of Dayna Whitaker, Area Park Manager.



*Pictured: Gated entry at the Cherry Avenue entrance to Bogart Park. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one publicly-accessed vehicular ingress/ egress point that serves the property from Cherry Avenue. This public entrance is controlled by a Guard House, where a County employee provides the reach action to exchange entrance payment with park patrons without the patrons needing to move from their fastened position in the arriving vehicle's driver seat. Nowhere along this paved entry drive, nor in any of the Park's four paved parking lots, is the sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

As Bogart Park is located in a semi-rural canyon, there is no accessible pedestrian entrance into the park site. The closest street sidewalk is located at the intersection of Bellflower Avenue and Cherry Valley Boulevard, approximately 1.5 miles from the Park entrance. Per CBC 11B-206.2.1, Exception #2, an accessible route shall not be required between the site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is the City of Beaumont Transit System. No existing routes travel past the entrance to the park site. The closest Beaumont Transit route to the site is either Route 3 or 4, with the nearest bus stop located at Beaumont Avenue and Cougar Way, approximately 1.5 miles between the bus stop and Bogart Park.

*ACTION: No action required by ADA nor CBC at the time of this report.*





# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Bogart Park includes a total of 184 marked off-street parking spaces, divided amongst four paved parking lots at various locations throughout the park site, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Pine	15	14	0	0	1	1	0	1	No
Oak	27	26	0	0	1	2	0	1	No
Meadow	95	91	0	0	4	4	1	1	Yes
Manzanita	47	45	0	0	2	2	2	1	Yes
<b>TOTAL</b>	<b>184</b>	<b>176</b>	<b>0</b>	<b>0</b>	<b>8</b>				

11B-208.1 of the California Building Code requires Designated Accessible Parking Spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Provide one Designated Van-Accessible Parking Space and loading zone in the Pine Parking lot, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.2: Provide one Designated Van-Accessible Parking Space and loading zone in the Oak Parking lot, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.3: In addition to Action Item 1.1.2 above, provide one Standard Accessible Parking Space in the Oak Parking lot, in compliance with CBC 11B-502.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of Designated Accessible Parking Spaces (DAPS) at each of the four paved parking lots at Bogart Park currently allows for accessible parking to be located in the closest available proximity to buildings and/or key amenities they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

All Designated Accessible Parking Spaces observed on site were in poor repair. Paint striping and International Symbol of Accessibility (ISA) was consistently faint and deteriorating at all parking lots. Parking signage was missing, inconsistent, mounted out of compliant ranges, and missing textural information. Loading zones at single spaces did not provide adequate loading clearances for vans. All observed spaces and adjacent loading zones exceeded maximum allowable slopes. None of the loading zones connected to accessible site amenities. See photo examples on next page.

*ACTION ITEM 1.3: In addition to providing Designated Accessible Parking Spaces (DAPS) mentioned in Action Items 1.1.1 through 1.1.3, the four (4) DAPS within Meadow Lot shall be brought to full compliance with CBC 11B-502.*



Typical condition of Designated Accessible Parking Spaces located throughout Bogart Park: deteriorated striping, missing or faded signage, excessive slope, etc. Pictured above: Pine Lot



None of the DAPS observed at Bogart Park made accessible connections to intended park amenities. Pictured above: excessive slope and waste container obstructing access in Meadow Parking Lot.



Existing DAPS at Oak Parking Lot. Signage is absent, markings are not clear. Loading zone does not connect to any accessible site amenities.



While signage was present at the DAPS within Meadow Parking Lot, most other accessibility components (striping, slope, loading zones) were severely deficient.



The DAPS within Manzanita Parking Lot also were observed to be severely out of compliance with current accessibility requirements.



## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 MANZANITA CAMPGROUND

This campground provides 26 primitive campsites of mixed variety (6 tent-only sites, 19 RV/tent sites, and one camp host site). Campsite #3 is designated on the camp brochure as designated accessible, but the site itself does not display an International Symbol of Accessibility (ISA).

California Building Code 11B-246.2 states that where camping facilities are provided, that at least two campsites and one additional campsite for each 100 campsites or fraction thereof, shall be accessed by and connected to sanitary facilities by travel routes with a maximum slope of 1:12.

Because of the large difference in elevation between Campsite #3 and the Manzanita restroom, Campsite #3 does not serve well as a location for an accessible campground.

*ACTION ITEM 2.1.1: Remove any accessibility designations from Campsite #3 and renovate two campsites near the restroom facility to meet the requirements of CBC 11B-246.2.*



Typical Manzanita Campsites.



Campsite #3 is currently designated as the accessible site, but does not provide the required connection to sanitary facilities.

### 2.2 CREEKSIDE AND EQUESTRIAN CAMPGROUND

These camping areas are an extension of the Manzanita site. Beyond equestrian enclosures, no distinct amenities are provided. For the sake of determining accessibility, the Creekside and Equestrian Campgrounds can be grouped with Manzanita Campground.

*ACTION: No action recommended, as long as the plans for the proposed building improvements provide full accessibility to all remaining improvements.*

### 2.3 AMENITIES NEAR PINE AND OAK PARKING LOTS

Besides a singletrack hiking trail, there are currently no park amenities directly adjacent to, nor in close proximity to the Pine nor Oak Parking Lots.



Top Left: Aerial view of Pine Parking Lot  
Top Right: Trail connection from remnants of Designated Accessible Parking Space  
Bottom: Aerial view of Oak Parking Lot

*ACTION: Beyond parking-related items listed in Action Items 1.1.1 through 1.1.3, no action is recommended at this time. Plan shall be revisited if and when amenities are proposed near Pine and/or Oak Parking Lot.*





### 2.4 AMENITIES NEAR MANZANITA PARKING LOT

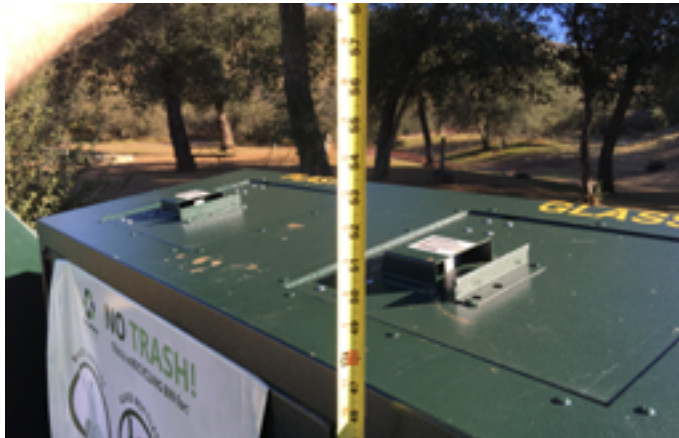
Several picnic tables, barbecues and fire rings are provided, but none are on an accessible path, nor do any of the picnic tables comply with the dimensions required for dining surfaces.

*ACTION ITEM 2.4.1: Provide an accessible path from the parking lot to at least one picnic table, barbecue and fire pit, as per CBC 11B-246.5 and CBC 11B-246.6*

*ACTION ITEM 2.4.2: Where provided, the designated accessible amenities listed in Action Item 2.2.1 above shall meet accessibility requirements for dimensions and layout.*



There is no accessible walkway connecting the Designated Accessible Parking Spaces with the Manzanita restroom nor to any of the picnic tables. Per CBC 11B-246.5, where picnic tables are provided, at least one picnic table, and one additional table for each 20 tables or fraction thereof, shall be accessible and comply with CBC 11B-902.



For the top-loaded opening of this recycling enclosure, CBC 11B-308.3.2 only allows the front edge of the enclosure to be 34" tall (see Obstructed High Side Reach)



Both of the waste and recycling receptacles require movements above the maximum reach range for operable parts of 48" maximum as defined in CBC 11B-308.3.1 (see Unobstructed Side Reach)

### 2.5 STAIRS TO CAMPGROUND HOST SITE

These stone stairs do not connect to any accessible walkways within the park site.

*ACTION ITEM 2.5: Provide signage directing vehicular travel to the elevation of the campground host site.*



### 2.6 GROUP AREA A

Group Area A consists of two picnic shelters, barbecues, a restroom building, and remnants of horseshoe and shuffleboard courts. There is currently no accessible means of reaching these amenities, nor is accessible circulation possible in and around the shelters. Two sets of stone stairs connect the site to the park road, but the stairs do not meet any of the accessibility requirements of CBC 11B-504.



These stairs would require a complete renovation to meet accessibility standards.

*ACTION ITEM 2.6.1: Provide an accessible path from Designated Accessible Parking Space(s) to the activity level.*

*ACTION ITEM 2.6.2: Provide stairs compliant with the full requirements of CBC 11B-504.*

*ACTION ITEM 2.6.3: Renovate shelter area to have a contiguous concrete surface unimpeded by steps.*

*ACTION ITEM 2.6.4: Where provided, the designated accessible amenities provided within the group area above shall meet accessibility requirements for dimensions and layout.*



Steps between the shelters and barbecue area prevent accessible circulation.





## 2.7 MEADOW AREA

This large day use area includes picnic table groupings under mature shade trees, as well as a playground, circulation walkways, a restroom building, and open play field. The majority of the concrete walkway provided far exceeds maximum slope requirements for walkways, and even beyond what is allowable for ramps.

*ACTION ITEM 2.7.1: Provide a realigned circulation walkway to connect the Designated Accessible Parking Spaces with all provided amenities, including but not limited to playground, picnic table groupings, and restroom. This will likely require a substantially different walkway location in order to accommodate accessibility requirements given the existing sloped topography.*

*ACTION ITEM 2.7.2: Where provided, the designated accessible amenities listed in Action Item 2.2.1 above shall meet accessibility requirements for dimensions and layout.*

*ACTION ITEM 2.7.3: Where drinking fountains are provided, a fountain meeting the full accessibility requirements of CBC 11B-602 shall be provided.*

*ACTION ITEM 2.7.4: Provide contrasting stripe at each transfer step on the playground, as per CBC 11B-1008.3.2.4*



The majority of the Meadow concrete walkway exceeds maximum allowable slope requirements. There are also no picnic tables that meet the requirements of CBC 11B-246.5 and 11B-902.



This historic drinking fountain should be supplemented with an accessible high-low fountain at a level location in close proximity.



Typical shot of several groupings of picnic tables under shade trees within the Meadow area, but no provisions exist for accessible use.



The playground construction is fairly recent, and generally meets the current accessibility requirements. Ongoing maintenance is necessary to stay in accessibility compliance.

## 2.8 TRAILS

Bogart Park provides access to a variety of hiking trails. One notable trail, the Candlelight Trail, leads hikers to a lookout point with panoramic views of distant landmarks. The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7)



*ACTION ITEM 2.8.1: Supplement existing lookout amenities at the top of the Candlelight Trail to permit the ability for wheelchair occupants a comparable educational experience, in compliance with CBC 11B-246.7 and 11B-246.8.*

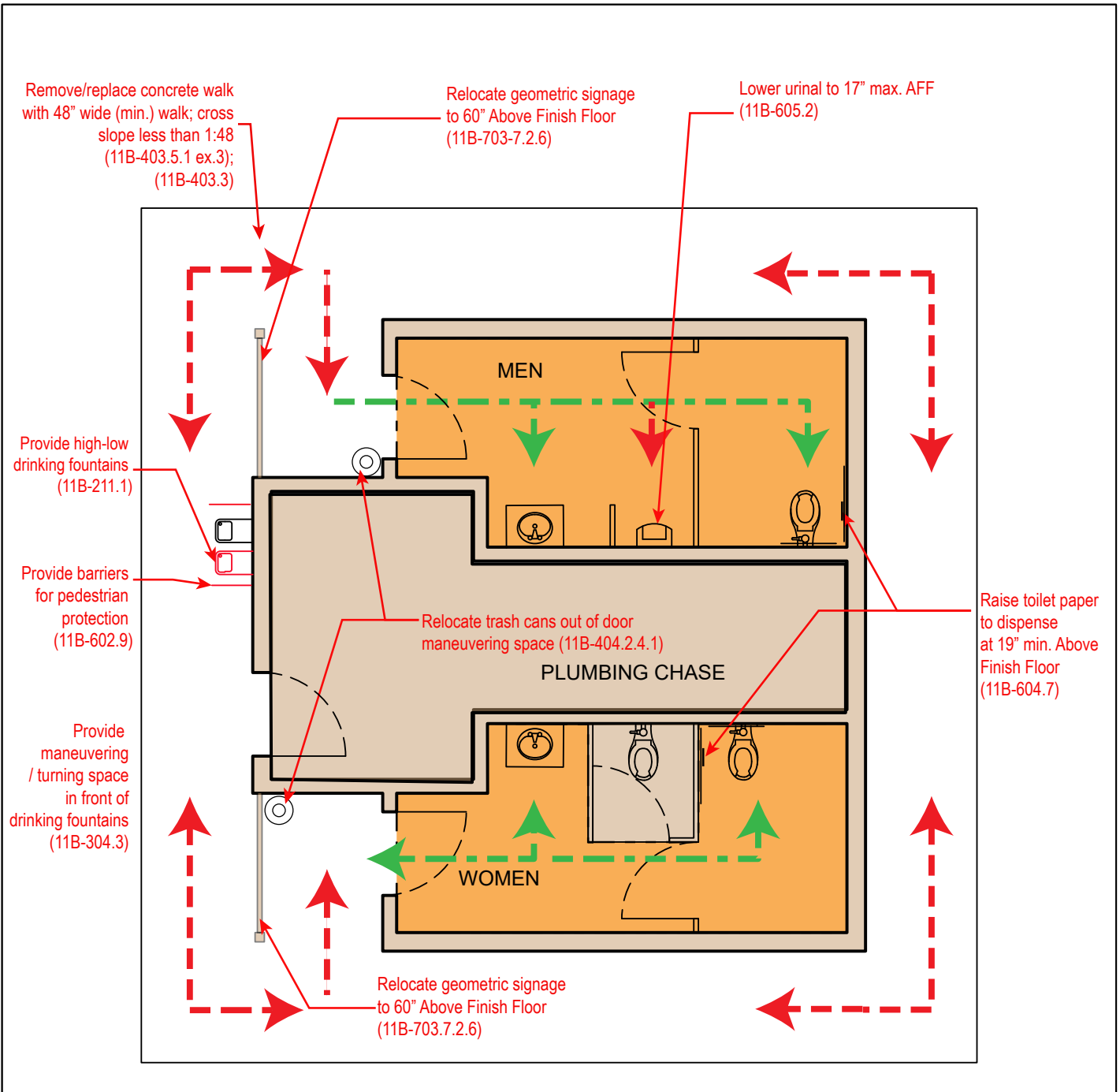


Existing signage indicates the trail is intended for pedestrian hiking. Per CBC 11B-246.7, at least portions of the trail shall be constructed with gradients allowing for at least partial use by wheelchairs.



The lookout scopes at the top of the Candlelight trail are mounted too high to be used by wheelchair occupants.





**MANZANITA RESTROOM FLOOR PLAN**

**Legend**

- Sufficient Path of Travel
- Deficient Path of Travel
- Building
- Accessible Portion of Restroom
- Building Entrance
- Deficiency

NORTH  
NOT TO SCALE

**3.0 BUILDINGS**

There is currently an entry kiosk and three restroom buildings within Bogart Park.

**3.1 ENTRY GATE KIOSK**

The Entry gate kiosk is not a publicly accessible building. The County employee accommodates park patrons at their vehicle.

*ACTION: No action required by ADA nor CBC at the time of this report.*

**3.2 MANZANITA RESTROOM**

This restroom is located near the Manzanita Campground, but an accessible route is not present between the restroom and adjacent parking nor park amenities. Restroom amenities appear generally compliant.

*Notable Access Barriers:*

**General**

- No accessible connection to park amenities;
- Only one drinking fountain provided; needs to be high-low configuration;
- Loose Trash cans obscuring paths into restrooms;
- 

**Men's Room**

- Geometric signage mounted too low at screen wall;
- Urinal mounted 19" AFF (17" maximum allowed);

**Women's Room**

- Geometric signage mounted too low at restroom doors;



*Excessive slope in perimeter concrete slabs.*



*Center of Geometric signage too low.*



*Drinking fountain does not have cane detection barriers from side approach, which are required if the fountain is not located within an alcove.*

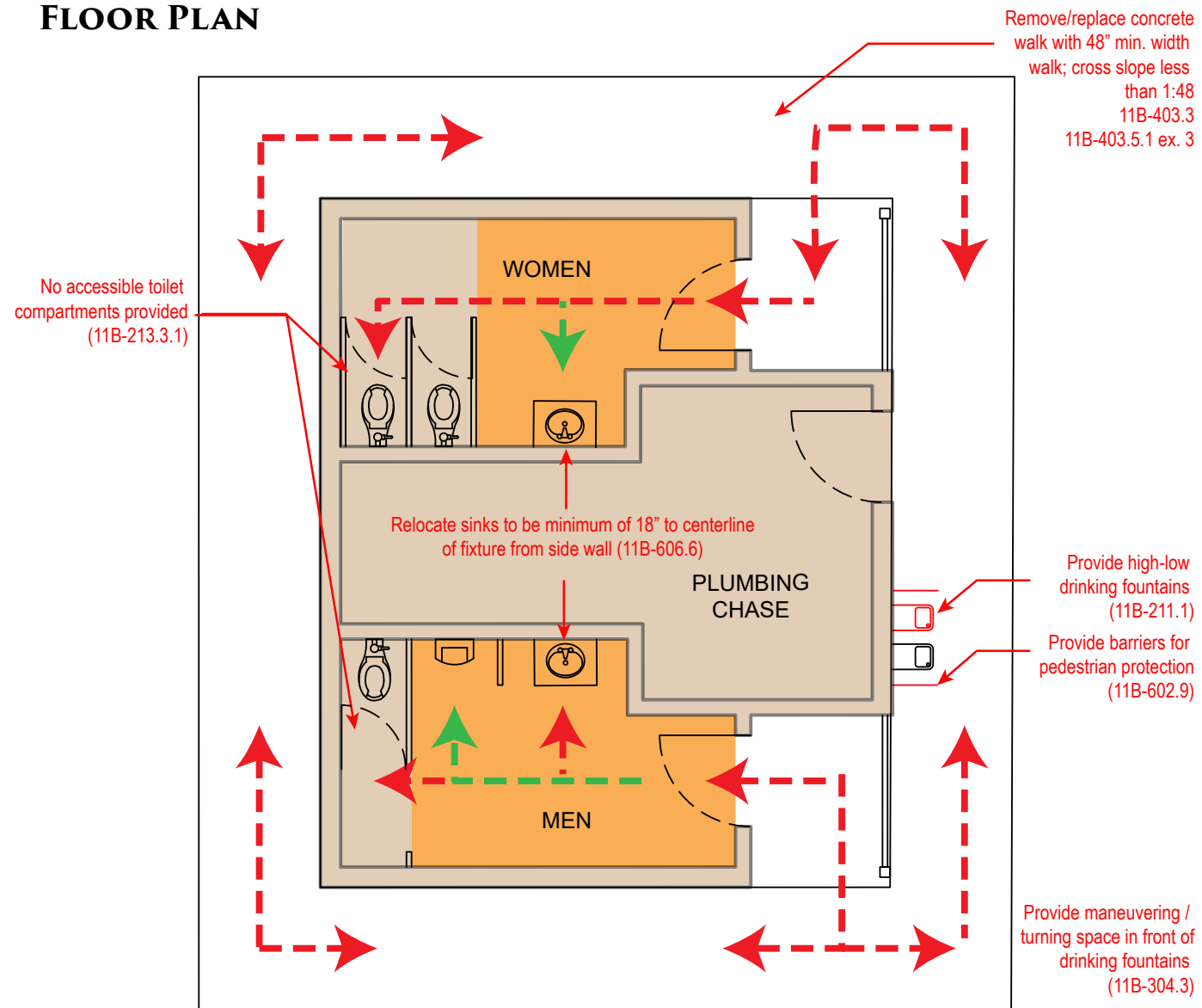


*Second (High) drinking fountain not provided; Low drinking fountain not functional.*

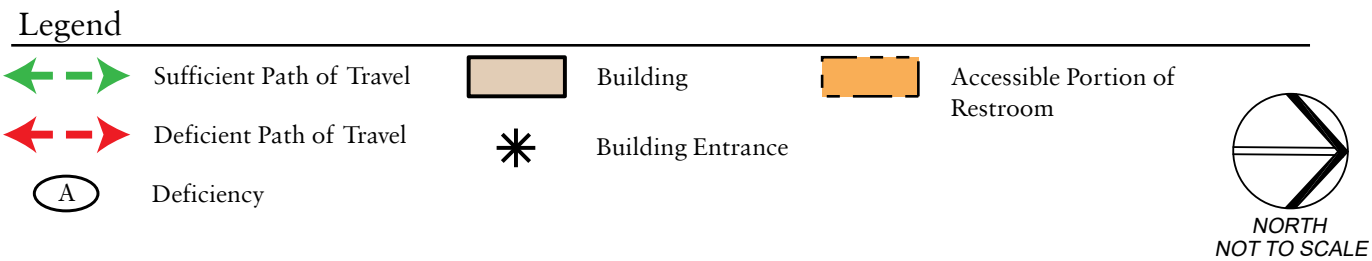




# DAY USE #1 RESTROOM FLOOR PLAN



**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**



## 3.3 DAY USE 1 RESTROOM

This restroom is located near the Day Use area but an accessible route is not present between the restroom and adjacent parking nor park amenities. Restroom appears old and far from compliant.

### Notable Access Barriers:

#### General

- No accessible connection to park amenities;
- No geometric signage provided;
- Only one drinking fountain provided; needs to be high-low configuration;
- Loose Trash cans in path;
- Excessive walkway slopes at restroom perimeter;
- Sinks too close to adjacent wall;
- Sink plumbing not wrapped;
- No accessible toilet stall in either side;
- Excessive slope in floor



No geometric signage provided.

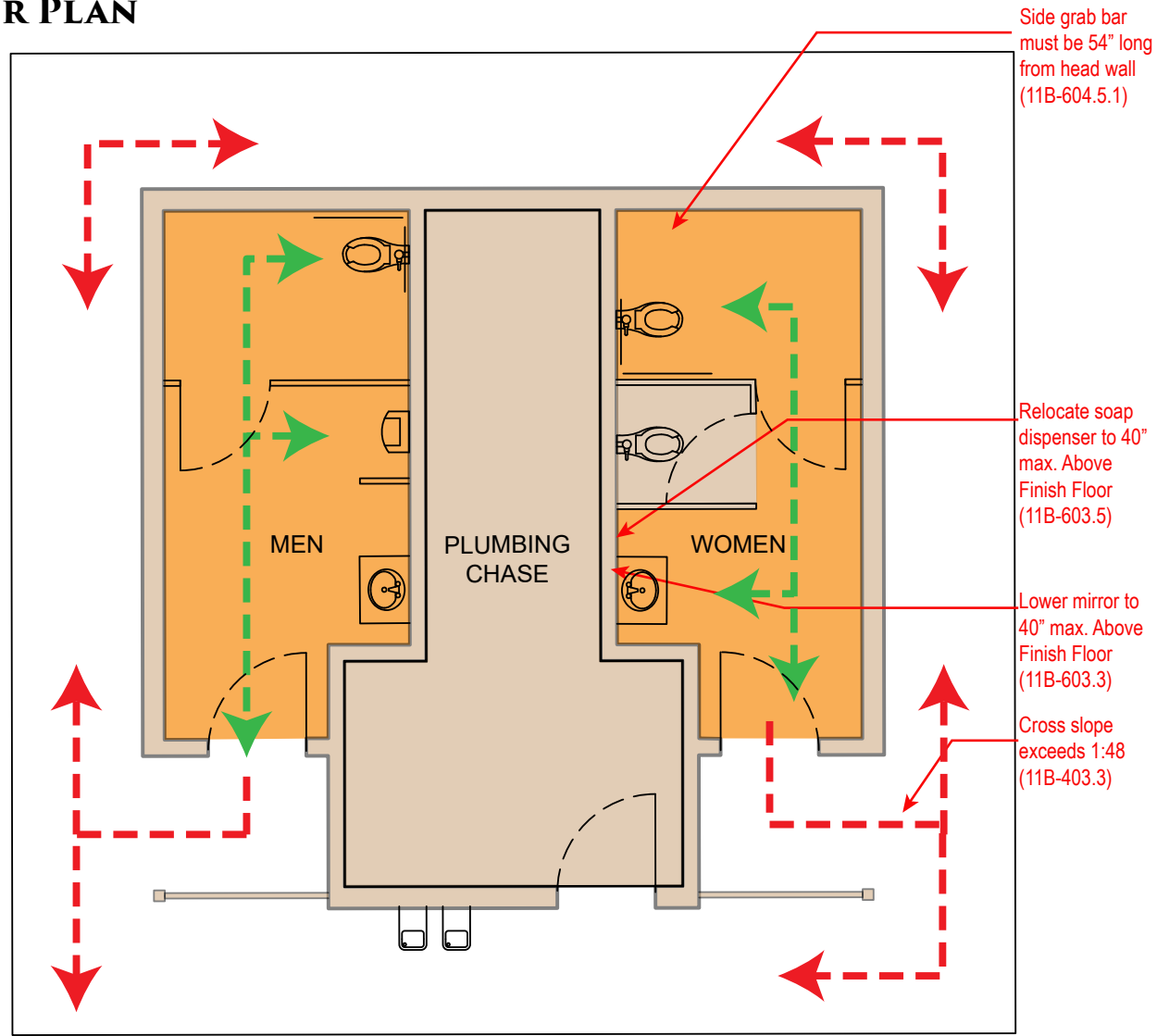


Non-compliant drinking fountain.

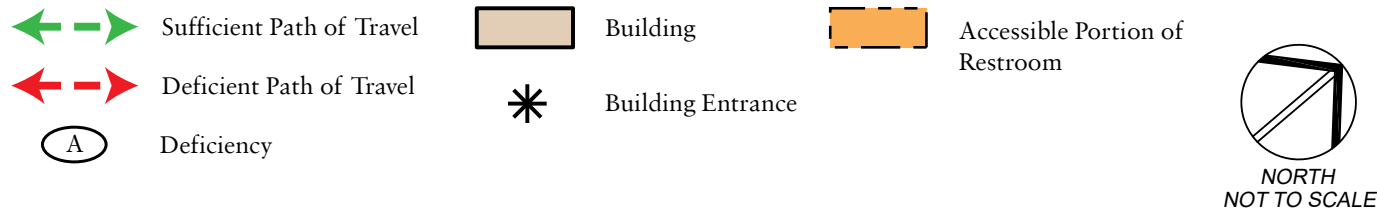


Sink too close to wall.

# MEADOW RESTROOM FLOOR PLAN



## Legend



## 3.4 MEADOW RESTROOM

This restroom appears to be more recent construction. High-low fountains are present.

### Notable Access Barriers:

#### General

- Excessive slope and uneven concrete at restroom perimeter;
- Mens mirror and soap dispenser mounted too high (40" max allowed);
- Low drinking fountain missing push button;
- Side grab bars appear too short.



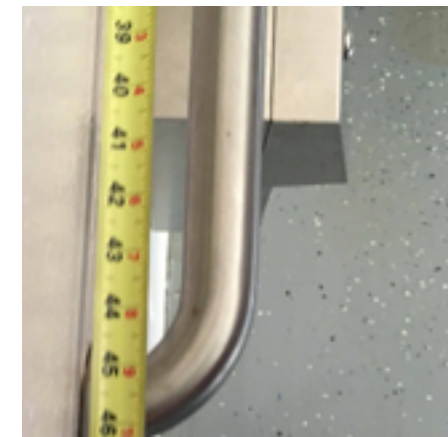
No geometric signage provided.



Excessive slope at restroom entry.



Men's room soap dispenser and mirror mounted too high.



Side grab bars must be 54" min from head wall.



Back side of building.



## SUMMARY OF CORRECTIVE ITEMS:

### BOGART PARK

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (4 total)	\$1,000	Immediate	
<b>1.0 PARKING</b>				
1.1.1	Provide (1) Designated Van Accessible Parking Space and Loading zone at Pine Parking Lot; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2020	
1.1.2, 1.1.3	Provide (1) Designated Van Accessible Parking Space, (1) Standard Accessible Parking Space and Loading zone at Oak Parking Lot; will require asphalt resurfacing - assume 750 SF, signage, striping, etc.	\$3,500	June 2020	
1.3.4	Upgrade (4) Designated Accessible Parking Spaces in Meadow Lot; includes asphalt, signage, striping	\$6,500	June 2019	
<b>2.1 MANZANITA CAMPGROUND</b>				
2.1.1	Renovate (2) campsites near restroom to provide access within campsite and to restroom	\$25,000	June 2021	
2.1.1 interim	Provide Accessible Portable Restroom and hand washing station near two campsites until funding allows for major renovation efforts	\$2,000	Immediate	
<b>2.4 AMENITIES NEAR MANZANITA PARKING LOT</b>				
2.4.1	Provide accessible path from parking lot to at least (1) picnic table, barbecue and fire pit - assume 500 SF concrete	\$7,500	June 2020	
2.4.2	Provide accessible furnishings for 2.4.1	\$2,500	June 2020	
<b>2.5 STAIRS TO CAMPGROUND HOST SITE</b>				
2.5	Provide signage indicating stairs are not accessible, and directing vehicular travel to the elevation of the campground host site	\$1,000	December 2018	
<b>2.6 GROUP AREA A</b>				
2.6.1	Provide Designated Accessible Parking Spaces and access ramp/ walkway to activity level	\$50,000	June 2023	
2.6.1 interim	Provide Signage indicating Group Area 1 is not accessible, with signage directing users to comparable accessible amenities	\$1,000	Immediate	
2.6.2	Renovate picnic slab to be a consistent single level absent of steps	\$10,000	June 2023	
2.6.3	Provide accessible picnic tables (2 minimum)	\$3,500	June 2023	
<b>2.7 MEADOW AREA</b>				
2.7.1	Provide realigned circulation walk to playground, picnic tables and restroom; will likely involve significant regrading and irrigation/planting renovation efforts	\$150,000	June 2025	
2.7.1 interim	Provide signage warning wheelchair users of excessive slope; provide interim means of transport to key amenities	\$10,000	Immediate	
2.7.2	Provide accessible picnic tables (recommend 10 accessible tables spread amongst various areas); provide accessible trash receptacles	\$2,500	June 2025	

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
2.7.3	Provide accessible high-low drinking fountains near historic fountain (includes water line from nearest source)	\$5,000	June 2025	
2.7.4	Provide contrasting stripe at transfer steps	\$150	December 2018	
<b>2.8 TRAILS</b>				
2.8.1	Provide lookout scopes at wheelchair reach range	\$1,500	June 2025	
<b>3.2 MANZANITA RESTROOM</b>				
3.2.1	Remove/ replace concrete surrounding building where slope exceeds 1:48 (anticipate 500 SF); provide concrete walk to nearest accessible parking (anticipate 500 SF), coordinate with item 2.1.1	\$7,500	June 2023	
3.2.2	Provide high-low drinking fountain	\$4,000	June 2023	
3.2.3	Adjust Geometric signage mounting height	\$100	June 2023	
<b>3.3 DAY USE 1 RESTROOM</b>				
3.3.1	Remove and replace existing restroom with fully accessible restroom (anticipate demo/ removal costs plus new 400 SF pre-fabricated building)	\$250,000	June 2028	
3.3.1 interim	Provide Accessible Portable Restroom and hand washing station near activity area	\$1,000	December 2018	
<b>3.4 MEADOWS RESTROOM</b>				
3.3.1	Remove/ replace concrete surrounding building where slope exceeds 1:48 (anticipate 500 SF); coordinate with item 2.7.1	\$3,500	June 2019	
3.3.2	Adjust mens restroom mirror and soap dispenser	\$500	December 2018	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$551,750		





ACCESSIBILITY COMPLIANCE REPORT FOR:  
**HURKEY CREEK PARK**

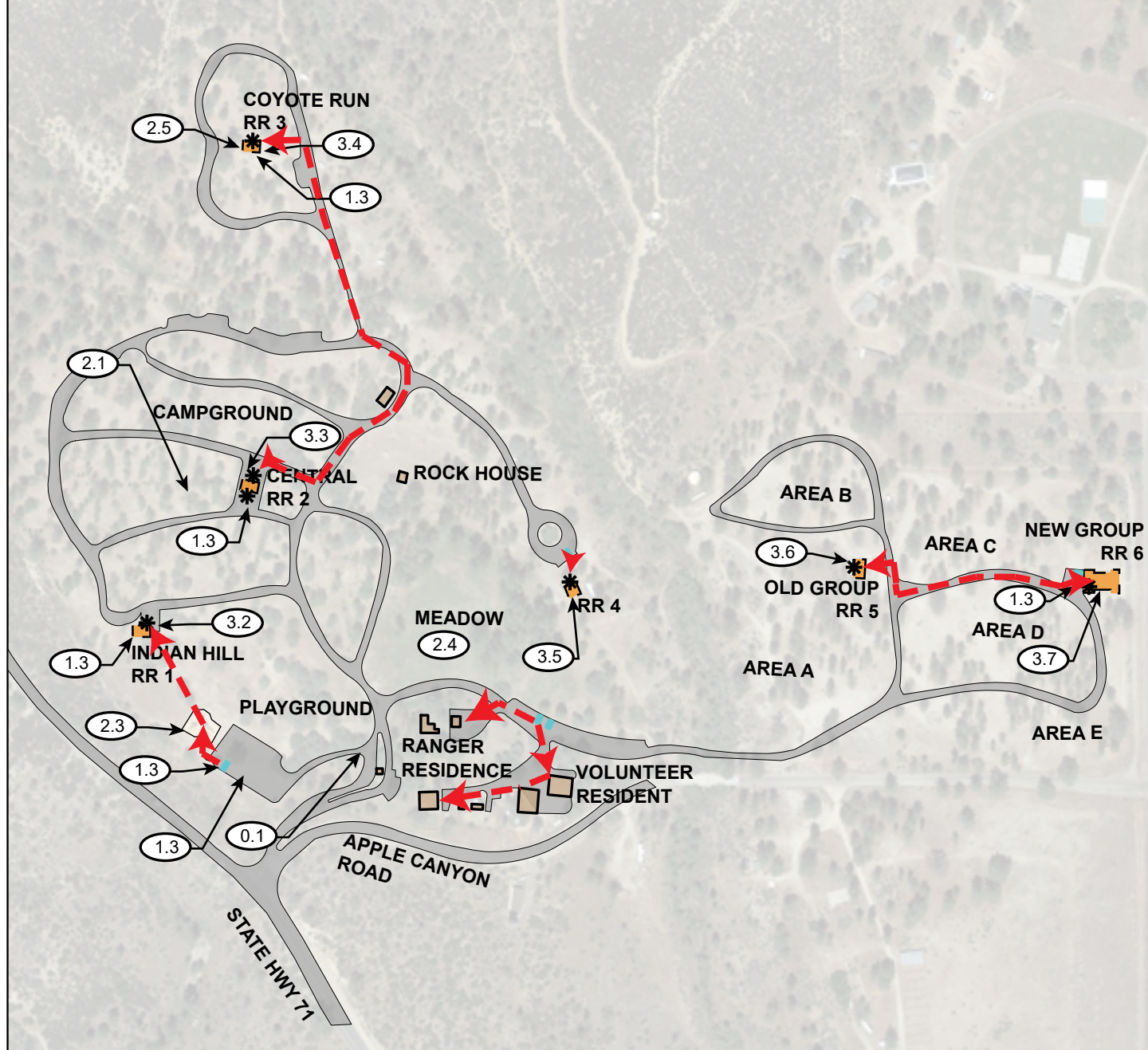
56375 State Highway 74  
 Mountain Center, CA 92561

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# HURKEY CREEK PARK SITE PLAN



### Legend

	Sufficient Path of Travel		Building		Restroom	
	Deficient Path of Travel		Parking		Building Entrance	
	Deficiency					

NORTH  
NOT TO SCALE

## INTRODUCTION

Hurkey Creek Park is located in the San Jacinto Mountains just southeast of Mountain Center. The park site consists of campgrounds, day use areas and trails. Due to the mountainous location of Hurkey Creek Park, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Hurkey Creek Park was performed on Thursday, February 15, 2018, with a start time of approximately 1:30 pm. Scott Rice, CASp-709 toured the facility with the remote coordination of Anthony Miller, Park Ranger, and the assistance of undisclosed on-site personnel.



*Pictured: Guard-controlled entrance to Hurkey Creek Park. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from State Route 74. All inbound traffic is controlled by an entry kiosk. Nowhere along this paved entry drive is the sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense. However, one compliant Towing sign was observed at the New Group Restroom.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

As Hurkey Creek Park is located in a rural mountainous area, there is no accessible pedestrian entrance into the park site. Pedestrian access first becomes apparent at the day use area parking. Per CBC 11B-206.2.1, Exception #2, an accessible route shall not be required between the site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

There is no rapid transit provider near this mountainous park site.

*ACTION: No action required by ADA nor CBC at the time of this report.*





# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Hurkey Creek Park includes a total of 76 marked off-street parking spaces, divided amongst eight paved parking lots at various locations throughout the park/ campground site, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Near Guard House	4	4	0	0	0	1	0	1	No
Playground Day Use	34	32	0	0	2	2	1	1	Yes
Indian Hill Restroom	3	3	0	0	0	1	0	1	No
Central Restroom	7	7	0	0	0	1	0	1	No
Coyote Run Restroom	5	5	0	0	0	1	0	1	No
Meadow Day Use Restroom	6	5	0	0	1	1	1	1	Yes
Old Group Restroom	(Unpaved/ Non-marked parking)								
New Group Restroom	4	2	0	0	2	1	1	1	Yes
South Edge of Meadow Area	35	33	0	0	2	2	1	1	Yes
<b>TOTAL</b>	<b>76</b>	<b>72</b>	<b>0</b>	<b>0</b>	<b>7</b>				

11B-208.1 of the California Building Code requires Designated Accessible Parking Spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Provide one Designated Van-Accessible Parking Space near the Guard House, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.2: Provide one Designated Van-Accessible Parking Space near the Indian Hill Restroom Building, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.3: Provide one Designated Van-Accessible Parking Space near the Central Restroom Building, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.4: Provide one Designated Van-Accessible Parking Space near the Coyote Run Restroom Building, in compliance with CBC 11B-502.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

Where provided, the dispersion of designated accessible parking areas at each parking lot at Hurkey Creek Park currently allows for accessible parking to be located in closest available proximity to the buildings and/or key amenities they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.1 for providing deficient Designated Accessible Parking Spaces at certain lots, and 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

Where provided, most Designated Accessible Parking Spaces observed at Hurkey Creek Park generally met or exceeded the dimensions of 9' wide x 18' length. Several action items are noted:

*ACTION ITEM 1.3.1: Provide a painted blue stripe to define the full space, in compliance with CBC 11B-502.6.4.2.*

*ACTION ITEM 1.3.2: Provide "NO PARKING" in 12" tall characters at the leading edge of the passenger loading zones at all designated accessible parking spaces, in compliance with CBC 11B-502.3.3.*

*ACTION ITEM 1.3.3: Provide "Minimum Fine: \$250" signage at ALL parking spaces as defined by CBC 11B-502.6.2; Recommendation is to replace all existing signage with the Caltrans R99 signage shown in the beginning of this report. Signage shall maintain 60" min. clearance where signs are located outside accessible routes, and 80" min. clear where located within accessible routes, as per CBC 11B-502.6.*

*ACTION ITEM 1.3.4: Grind and overlay asphalt paving to eliminate areas exceeding 1:48, as per CBC 11B-502.4, Exception #1. Excessive slope was noted at several locations throughout the parking areas at the various restroom (except New Group).*

*ACTION ITEM 1.3.5: Where applicable, restripe passenger loading zones to reflect full 8' width required for van parking spaces, in compliance with CBC 11B-502.2, Exception #1*



No Designated Accessible Parking is currently provided at the Indian Hill Restroom.



No Designated Accessible Parking is currently provided at either side of the Central Restroom. Additionally, excessive sloping in both directions is present, as well as between parking and restroom.



No Designated Accessible Parking is currently provided near Coyote Run Restroom.







One Designated Accessible Parking is currently provided near the Day Use Restroom. However, the required signage is not present.



Parking at the south edge of the Meadow area is missing "Van Accessible" and "MINIMUM FINE \$250" signage; Loading zone does not connect with any accessible site features nor buildings.



Designated Accessible Parking Spaces outside the New Group Restroom appear to be a fairly recent installation. These spaces are generally compliant, except the "MINIMUM FINE \$250" sign is not present.



Similar barriers to the Meadow parking mentioned above are also present at the Designated Accessible Parking Spaces near the playground.



Pavement outside the New Group Restroom is currently in good shape; All painted stripes have good contrast. "NO PARKING" lettering is at proper size and location.



Excessive slope, debris on walkway surfaces, and subsiding asphalt all hinder the accessibility of the playground-adjacent parking.

## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 RV/ TENT CAMPGROUND

This campground provides 130 primitive campsites of mixed variety (6 tent-only sites, with the remainder of combination RV/tent sites, and two camp host sites. No campsites are distinctly identified as accessible. Interspersed within the RV/ Tent campground are three restroom/ shower buildings: Indian Hill, Central, and Coyote Run.

California Building Code 11B-246.2 states that where camping facilities are provided, that at least two campsites and one additional campsite for each 100 campsites or fraction thereof, shall be accessed by and connected to sanitary facilities by travel routes with a maximum slope of 1:12.

*ACTION ITEM 2.1.1: Renovate three campsites in locations near restroom facilities to meet the requirements of CBC 11B-246.2. Provide an accessible route between each campsite and the adjacent sanitary facilities.*

### 2.2 GROUP CAMPGROUND

There are 5 designated loops within the open group campground area. Each loop shares generally unimproved spaces on fairly level plots, each with a central fire pit feature. The Group campground has two restrooms: Old Group and New Group.

*ACTION: No action required by ADA nor CBC at the time of this report. However, measures should be taken to accommodate campers with disabilities on an as-needed basis, and to assign campsites closest to the restrooms.*

### 2.3 PLAYGROUND/ DAY USE AREA

The playground itself is fairly recent in construction. However, the entire playground is on loose engineered wood fiber, observed to be variable in height at key accessible areas, such as slide exits and transfer stations. The walkway between the nearest Designated Accessible Parking Spaces exceeds maximum slope requirements and does not provide level turning spaces at changes in direction. There is no accessible walkway between the playground and the nearest restroom. See next page for action items.





### 2.3 PLAYGROUND/ DAY USE AREA (CONTINUED)

Adjacent to the playground are at least three distinct groupings of picnic tables and barbecues under the shade of mature shade trees.

*ACTION ITEM 2.3.1: Maintain wood playground mulch at heights and surface continuity to allow accessible connectivity between play components, and at proper heights for transfer points and slide exits, in full compliance with CBC 11B-1008.2; Since frequent maintenance of playground surface is required by CBC 11B-1008.2.6.1, the installation of rubber safety surfacing to provide an accessible path to all accessible ground level play features and transfer stations is recommended.*

*ACTION ITEM 2.3.2: Provide contrasting stripe at each transfer step on the playground, as per CBC 11B-1008.3.2.4*

*ACTION ITEM 2.3.3: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.3.4: Provide an accessible connection to the Indian Hill Restroom, in compliance with CBC 11B-206 and 11B-246.4.*

### 2.4 MEADOW DAY USE

This multi-use space is generally a large gathering area for open play. There are several groupings of picnic tables and barbecues present. There is also a restroom provided, with analysis provided later in this report.



*Excessive slope, debris on walkway surfaces, and subsiding asphalt all hinder the accessibility of the playground-adjacent parking.*

*ACTION ITEM 2.4.1: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

### 2.5 TRAILS

Hurkey Creek Park provides access to adjacent hiking trails. The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7)

*ACTION ITEM 2.5.1: Supplement existing trails to permit the ability for wheelchair occupants to use, in compliance with CBC 11B-246.7.*



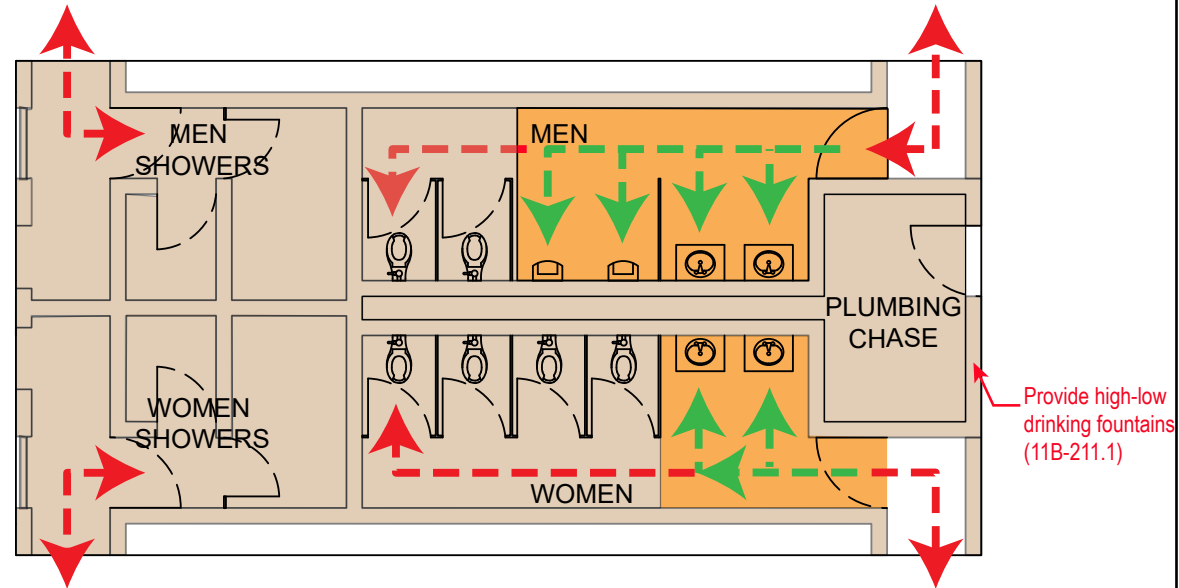
*Hurkey Creek Playground*



# INDIAN HILL RESTROOM FLOOR PLAN

Narrow passageways prevent wheelchair access into showers (11B-403.5.1)

No accessible toilet compartments provided (11B-213.3.1)



Provide high-low drinking fountains (11B-211.1)

**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom
	Deficient Path of Travel		Building Entrance		
	Deficiency				

NORTH  
NOT TO SCALE

## 3.0 BUILDINGS

There is currently an entry kiosk and six restroom buildings within Hurkey Creek Park.

### 3.1 ENTRY GATE KIOSK

The Entry gate kiosk is not a publicly accessible building. The County employee accommodates park patrons at their vehicle.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 3.2 INDIAN HILL RESTROOM/ SHOWER BUILDING

This restroom was not designed to accommodate wheelchair users. Wall layout would impede retrofit efforts. Recommend providing a separate accessible facility in close proximity.

#### Notable Access Barriers:

##### General

- Excessive slope and uneven concrete at restroom perimeter;
- Missing Geometric signage;
- No accessible toilet rooms on either side (Men's nor Women's);
- Paper towels dispensing at 41" (40" max allowed);
- Drinking Fountain(s) missing from restroom exterior wall;
- Excessive floor slope near drains (1:48 max allowed);



Restroom Entry

##### Showers

- Shower door opening too narrow;
- Benches mounted too high, not deep enough



Shower Entry

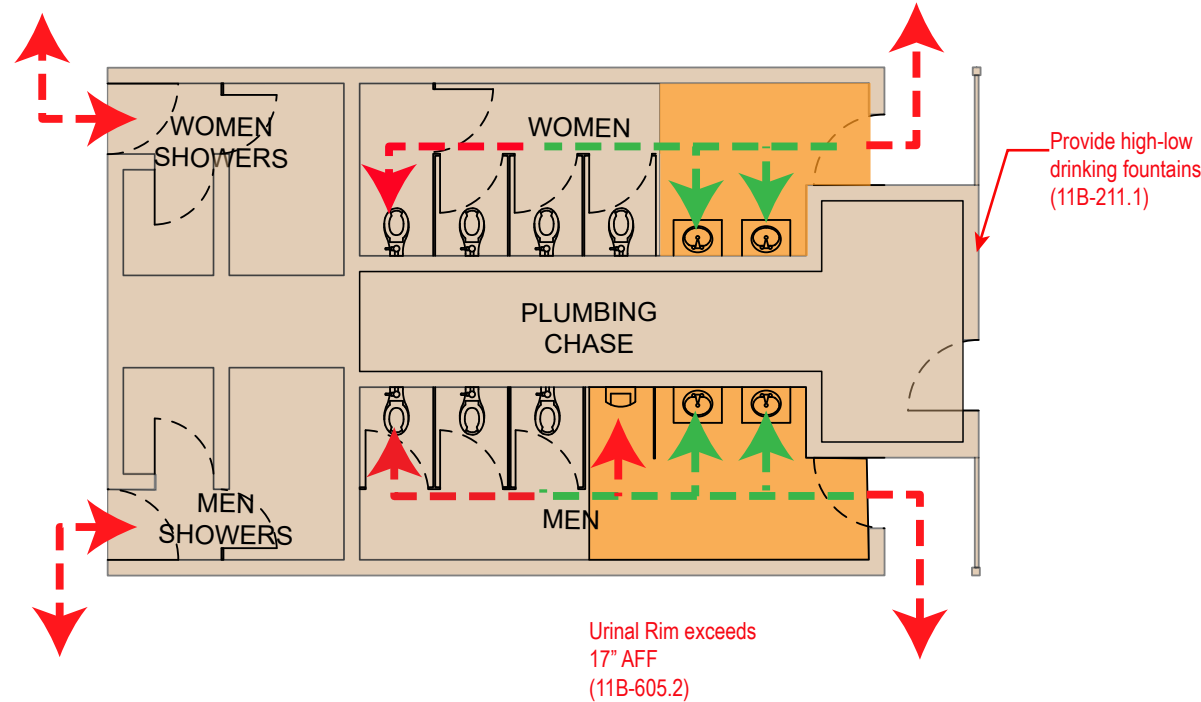




# CENTRAL RESTROOM FLOOR PLAN

Narrow passageways prevent wheelchair access into showers (11B-403.5.1)

No accessible toilet compartments provided (11B-213.3.1)



**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom
	Deficient Path of Travel		Building Entrance		
	Deficiency				

NORTH  
NOT TO SCALE

## 3.3 CENTRAL RESTROOM

This restroom appears to be very similar to the Old Group footprint, and therefore shares the same deficiencies. This restroom was not designed to accommodate wheelchair users. Wall layout would impede retrofit efforts. Recommend providing a separate accessible facility in close proximity.

### Notable Access Barriers:

#### General

- Excessive slope and uneven concrete at restroom perimeter;
- Missing Geometric Signage;
- No accessible toilet rooms on either side (Men's nor Women's);
- Paper towels dispensing at 41" (40" max allowed);
- Drinking Fountain(s) missing from restroom exterior wall;
- Excessive floor slope near drains (1:48 max allowed);
- Men's Urinal rim exceeds 17" AFF

#### Showers

- Shower door opening too narrow;
- Benches mounted too high, not deep enough



Restroom Entry



Urinal rim too high (17" AFF maximum allowed)



Shower Entry

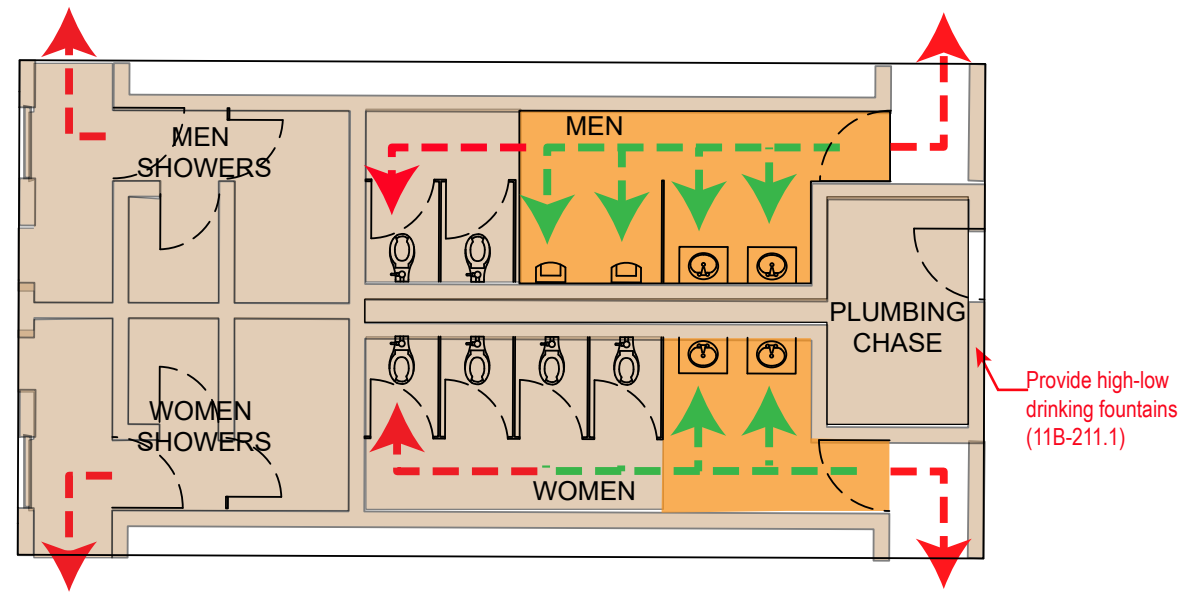




# COYOTE RUN RESTROOM FLOOR PLAN

Narrow passageways prevent wheelchair access into showers (11B-403.5.1)

No accessible toilet compartments provided (11B-213.3.1)



**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom
	Deficient Path of Travel		Building Entrance		
	Deficiency				

NORTH  
NOT TO SCALE

## 3.4 COYOTE RUN RESTROOM

This restroom appears to be consistent in construction with other restrooms on site, and therefore shares the same deficiencies.

This restroom was not designed to accommodate wheelchair users. Wall layout would impede retrofit efforts. Recommend providing a separate accessible facility in close proximity.

### Notable Access Barriers:

#### General

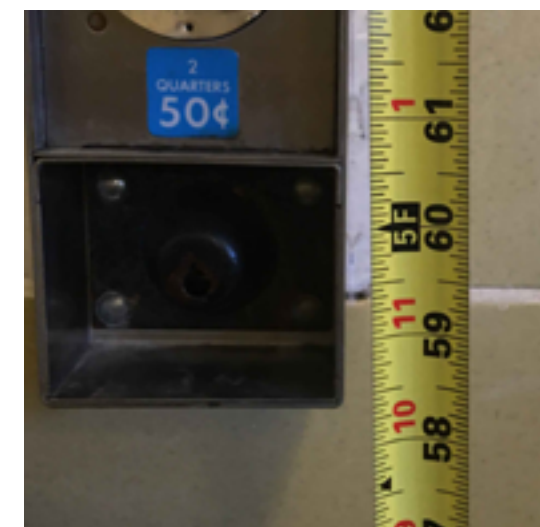
- Excessive slope and uneven concrete at restroom perimeter
- Missing Geometric Signage
- No accessible toilet rooms on either side (Men's nor Women's)
- Paper towels dispensing at 41" (40" max allowed)
- Drinking Fountain(s) missing from restroom exterior wall
- Excessive floor slope near drains (1:48 max allowed)

#### Showers

- Shower door opening too narrow
- Benches mounted too high, not deep enough



Restroom Entry



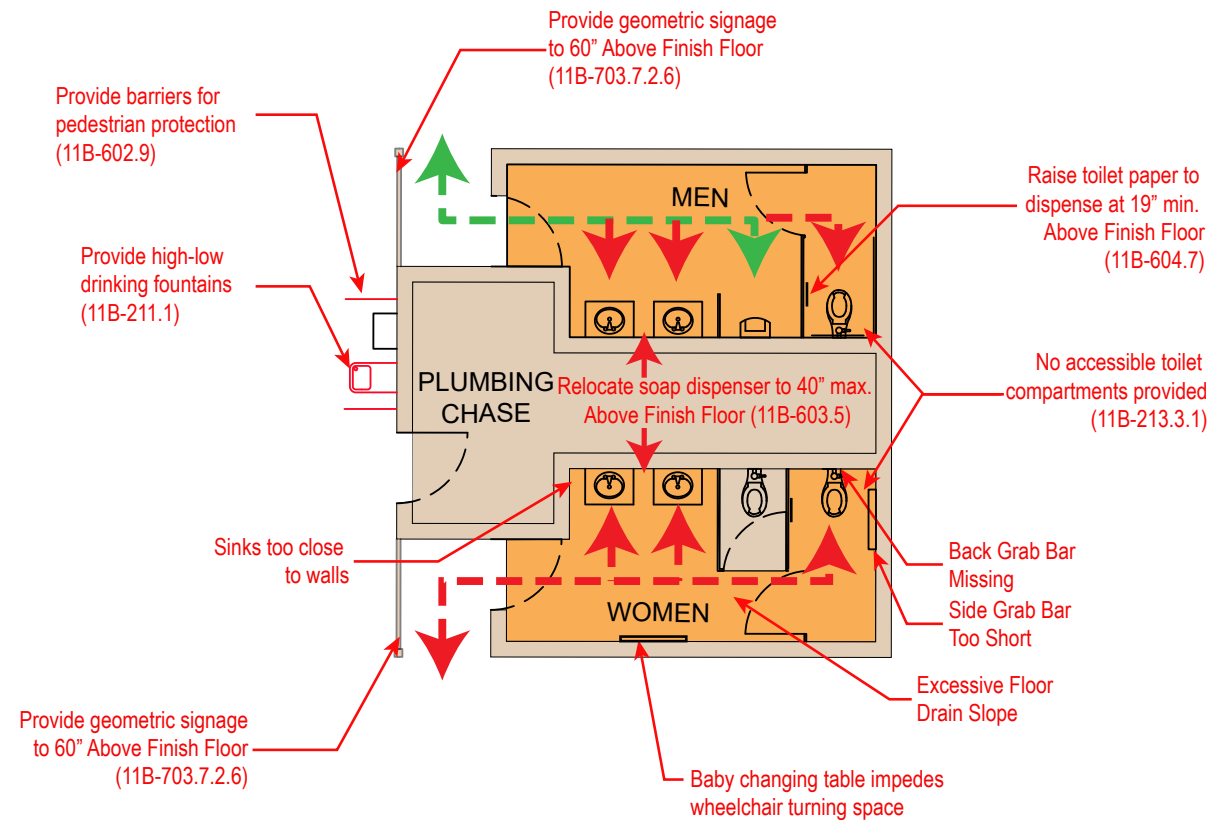
Shower controls mounted above max. reach range



Shower Entry



# MEADOW DAY USE RESTROOM FLOOR PLAN



**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom	
	Deficient Path of Travel		Building Entrance			
	Deficiency					

NORTH  
NOT TO SCALE

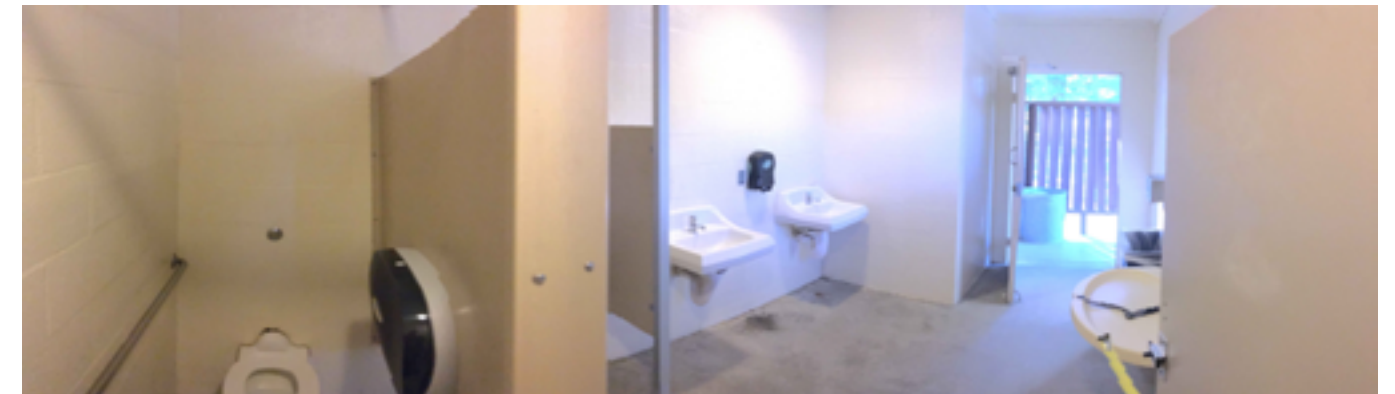
## 3.5 MEADOW/ DAY USE RESTROOM

In contrast to other restrooms at Hurkey Creek, this restroom appears to provide somewhat accessible features.

### Notable Access Barriers:

#### General

- Missing Geometric Signage
- Accessible toilet room too narrow
- Excessive slope and uneven concrete at restroom perimeter
- Side grab bar not long enough
- Back grab bar not present
- Toilet paper mounted too high
- Drinking Fountain(s) missing from restroom exterior wall
- Excessive floor slope near drains (1:48 max allowed)
- Only single drinking fountain on exterior wall
- Baby changing table impedes wheelchair turning space
- Sinks too close to side walls
- Soap dispenser too high



Panoramic shot of men's restroom interior, showing ambulatory toilet compartment. Also pictured is baby-changing station.

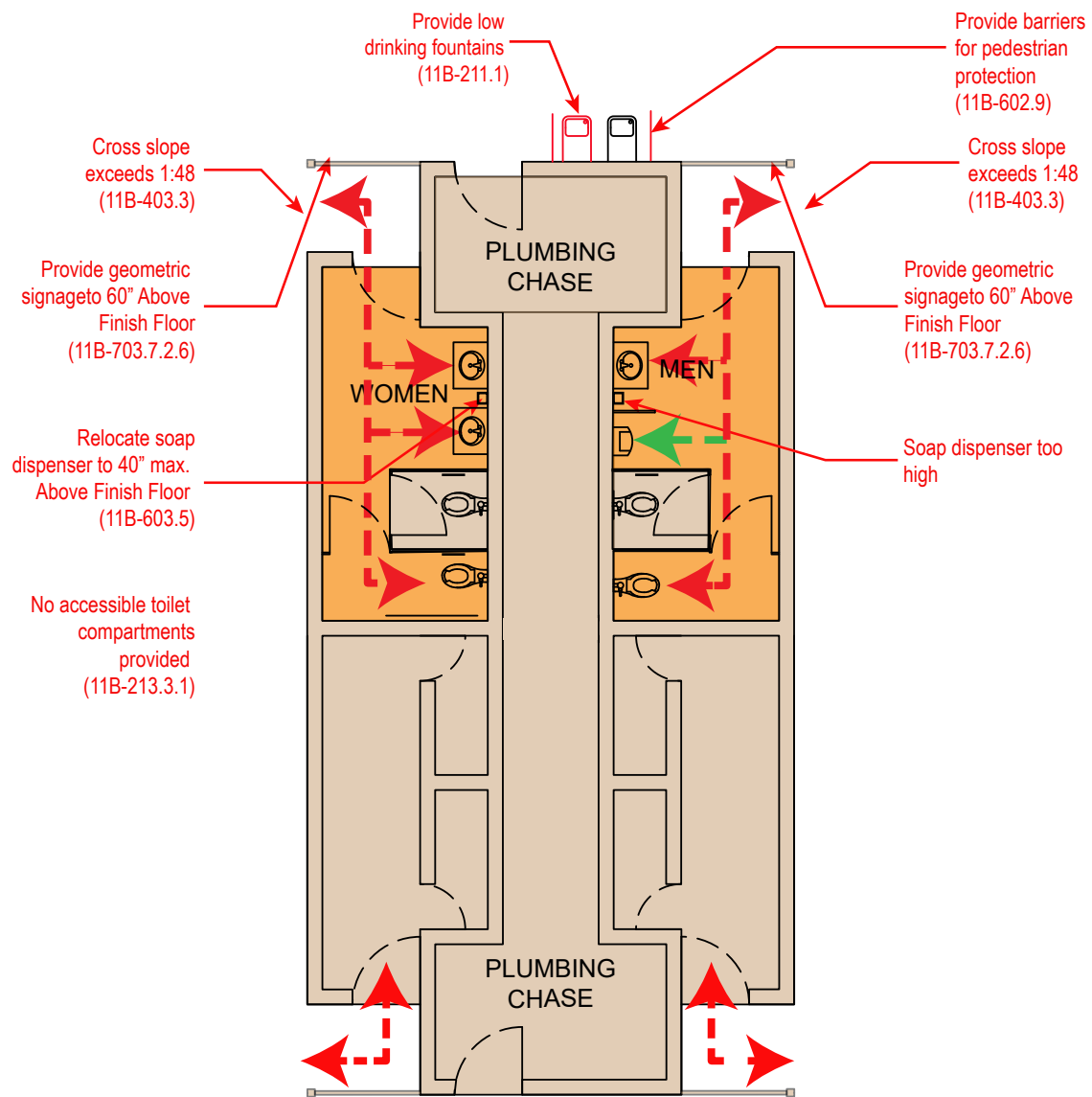


Restroom Entry

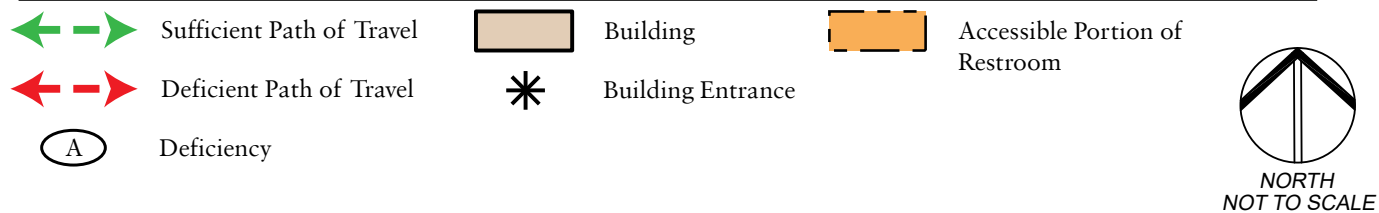




# OLD GROUP RESTROOM FLOOR PLAN



## Legend



## 3.6 OLD GROUP RESTROOM

This restroom appears to be consistent in construction with other restrooms on site, and therefore shares the same deficiencies. Repairs were being made at the time of inspection.

### Notable Access Barriers:

#### General

- Excessive slope and uneven concrete at restroom perimeter
- Missing Geometric Signage
- No accessible toilet rooms on either side (Men's nor Women's)
- Paper towels dispensing at 41" (40" max allowed)
- Drinking Fountain(s) missing from restroom exterior wall
- Excessive floor slope near drains (1:48 max allowed)

#### Showers

- Shower door opening too narrow
- Benches mounted too high, not deep enough



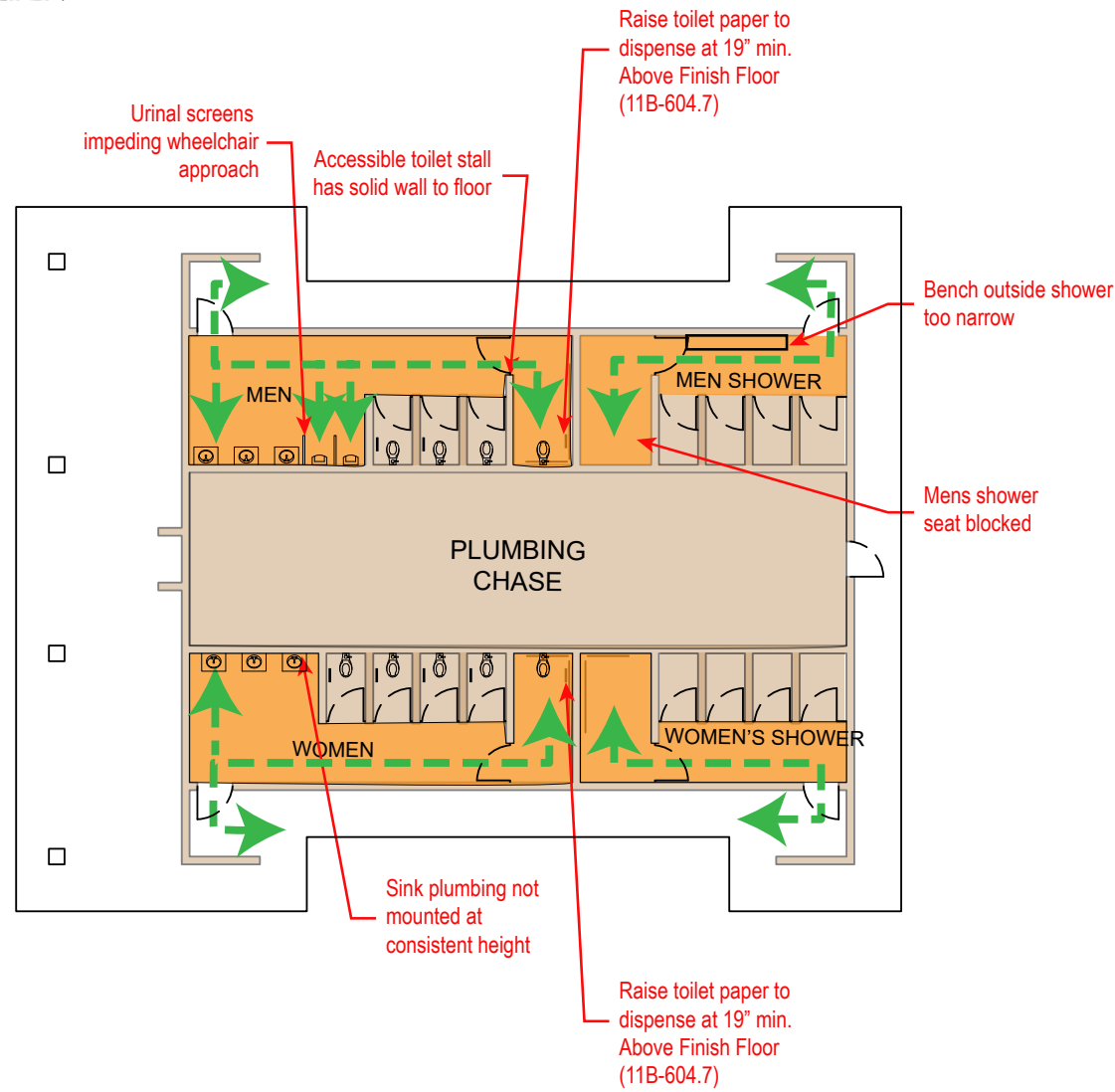
Renovations underway during inspection.



Restroom Entry



# NEW GROUP RESTROOM FLOOR PLAN



**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom
	Deficient Path of Travel		Building Entrance		
	Deficiency				

NORTH  
NOT TO SCALE

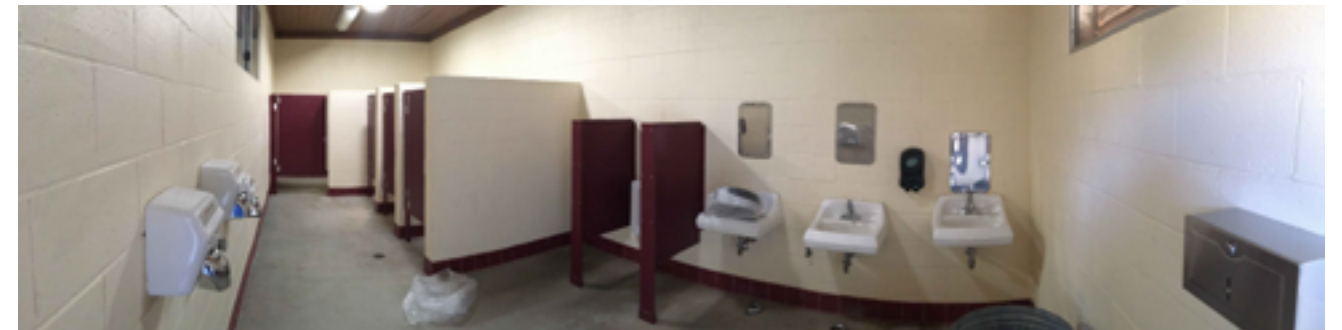
## 3.7 NEW GROUP RESTROOM

As implied by its name, this restroom appears to be the newest constructed building on site, and meets many of the accessibility requirements.

### Notable Access Barriers:

#### General

- Sink plumbing not wrapped
- Sinks not mounted at consistent height
- Urinal screen walls impeding forward wheelchair approach
- Accessible toilet stall has solid wall to floor, but only provides 64" width (66" width required if toe clearance is not provided underneath side partition)
- Toilet paper dispenser mounted too high (19" max above floor)
- Men's shower seat blocked by grab bar, preventing seat to be folded up (see photo below)
- Bench outside shower too narrow



Panoramic shot of men's restroom interior.



Shower seat obscured from folding upright by grab bar mounted in conflict.



Restroom Entry from accessible parking





**SUMMARY OF CORRECTIVE ITEMS:**

**HURKEY CREEK PARK**

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot and restroom building excluding New Group (6 total)	\$1,500	Immediate	
<b>1.0 PARKING</b>				
1.1.1	Provide (1) Designated Van Accessible Parking Space and Loading zone at Guard House; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2020	
1.1.2	Provide (1) Designated Van Accessible Parking Space and Loading zone at Indian Hill restroom; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2021	
1.1.3	Provide (1) Designated Van Accessible Parking Space and Loading zone at Central restroom; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2023	
1.1.4	Provide (1) Designated Van Accessible Parking Space and Loading zone at Coyote Run restroom; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2025	
1.3.3	Provide proper signage, refresh striping for Van Accessible Parking Space near Day Use restroom, near meadow	\$1,500	June 2019	
1.3.4	Grind/overlay/ restripe parking near playground	\$2,000	June 2019	
<b>2.1 RV/ TENT CAMPGROUND</b>				
2.1.1	Renovate (3) campsites near restroom to provide access within campsite and to restroom	\$50,000	June 2025	
2.1.1 interim	Provide Accessible Portable Restroom and hand washing station near three campsites until funding allows for major renovation efforts	\$3,000	Immediate	
<b>2.3 PLAYGROUND/ DAY USE AREA</b>				
2.3.1	Replace wood mulch with poured-in-place rubber surfacing within span of ground level accessible features (anticipate 2,500 SF)	\$40,000	June 2019	
2.3.1 interim	Refresh wood mulch to maintain proper transfer heights, etc.	\$1,500	June 2018	
2.3.2	Provide contrasting stripe at transfer steps	\$150	Immediate	
2.3.3	Provide accessible picnic tables at each picnic table grouping (4 recommended)	\$6,000	June 2019	
2.3.4	Provide accessible concrete walkway to Indian Hill Restroom and to accessible picnic tables (anticipate 2,500 SF)	\$20,000	June 2021	
<b>2.4 MEADOW DAY USE</b>				
2.4.1	Provide accessible picnic tables at each picnic table grouping (4 recommended)	\$3,000	June 2020	
<b>2.5 TRAILS</b>				
2.5.1	Supplement trails with partial wheelchair accessibility	\$25,000	June 2021	

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>3.2 INDIAN HILL RESTROOM</b>				
3.2.1	Provide adjacent accessible prefabricated restroom/ shower facility with signage at existing building redirecting disabled users to the accessible building (anticipate 400 SF pre-fab building)	\$250,000	June 2025	
3.2.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom building or accessible campsite (coordinate with 2.1.1 interim)	\$1,000	Immediate	
3.2.2	Provide accessible walk between new accessible parking and new restroom/ shower building (coordinate with 1.1.2)	\$5,000	June 2025	
3.2.3	Provide high-low drinking fountain to existing building	\$3,000	June 2019	
<b>3.3 CENTRAL RESTROOM</b>				
3.3.1	Provide adjacent accessible prefabricated restroom/ shower facility with signage at existing building redirecting disabled users to the accessible building (anticipate 400 SF pre-fab building)	\$250,000	June 2023	
3.3.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom building or accessible campsite (coordinate with 2.1.1 interim)	\$1,000	Immediate	
3.3.2	Provide accessible walk between new accessible parking and new restroom/ shower building (coordinate with 1.1.2)	\$5,000	June 2023	
3.3.3	Provide high-low drinking fountain to existing building	\$4,000	June 2023	
<b>3.4 COYOTE RUN RESTROOM</b>				
3.4.1	Provide adjacent accessible prefabricated restroom/ shower facility with signage at existing building redirecting disabled users to the accessible building (anticipate 400 SF pre-fab building)	\$250,000	June 2025	
3.4.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom building or accessible campsite (coordinate with 2.1.1 interim)	\$1,000	Immediate	
3.3.2	Provide accessible ramp/ walk between new accessible parking and new restroom/ shower building (coordinate with 1.1.2)	\$20,000	June 2025	
3.3.3	Provide high-low drinking fountain to existing building	\$4,000	June 2025	
<b>3.5 MEADOW/ DAY USE RESTROOM</b>				
3.5.1	Provide adjacent accessible prefabricated restroom facility with signage at existing building redirecting disabled users to the accessible building (anticipate 400 SF pre-fab building)	\$250,000	June 2028	
3.5.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom building or accessible campsite (coordinate with 2.1.1 interim)	\$1,000	Immediate	
3.5.2	Provide high-low drinking fountain to existing building	\$4,000		
<b>3.6 OLD GROUP RESTROOM</b>				
3.6.1	Provide adjacent accessible prefabricated restroom/ shower facility with signage at existing building redirecting disabled users to the accessible building (anticipate 400 SF pre-fab building)	\$250,000	June 2023	





ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
3.3.2	Provide high-low drinking fountain to existing building	\$4,000	June 2023	
<b>3.7 NEW GROUP RESTROOM</b>				
3.7.1	Wrap sink plumbing (Typ. 6 sinks)	\$600	June 2018	
3.7.2	Remove/ relocate urinal partitions	\$500	December 2018	
3.7.3	Remove/ relocate toilet paper dispenser (Typ of 2)	\$500	December 2018	
3.7.4	Remove/ relocate bench to avoid grab bar conflict	\$1,000	December 2018	
3.7.5	Replace waiting benches outside showers (Typ. of 2)	\$2,000	December 2018	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$1,472,250		







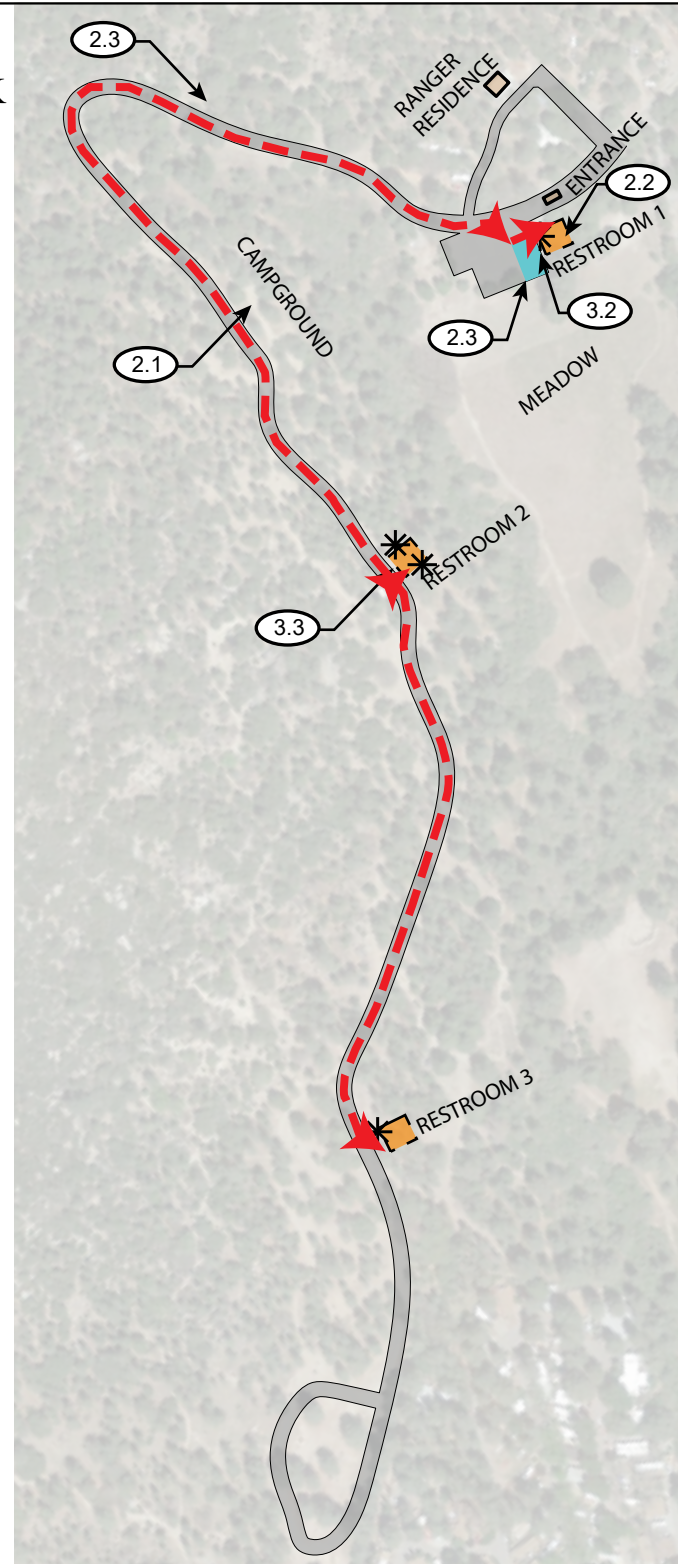
ACCESSIBILITY COMPLIANCE REPORT FOR:  
**IDYLLWILD PARK**

54000 Riverside County Playground Road  
 Idyllwild, CA 92549

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# IDYLLWILD PARK SITE PLAN



## Legend

- Sufficient Path of Travel
- Deficient Path of Travel
- Deficiency
- Building
- Parking
- Restroom
- Building Entrance
- NORTH  
NOT TO SCALE

## INTRODUCTION

Idyllwild Park is located in the San Jacinto Mountains, approximately 1/2 mile west of the Idyllwild central business district. The park site consists of campgrounds, day use areas and trails. Due to the mountainous location of Idyllwild Park, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Idyllwild Park was performed on Thursday, January 25, 2018, with a start time of approximately 12:30 pm. Scott Rice, CAsp-709 toured the facility with the remote coordination of Anthony Miller, Park Ranger, and the assistance of Ranger Joe. A follow-up visit was performed on Wednesday, April 11, 2018 at approximately 1:30 pm, to inspect Restroom #3.



*Pictured: Guard-controlled entrance to Idyllwild Park. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Riverside County Playground Road. All inbound traffic is controlled by an entry kiosk. Nowhere along this paved entry drive is the sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on Riverside County Playground Road. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is Idyllwild Shuttle Bus. However, no existing routes travel past the entrance to the park site.

*ACTION: No action required by ADA nor CBC at the time of this report.*





# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Idyllwild Park includes a total of 24 marked off-street parking spaces, all contained within one common lot near the entrance to the park.

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Main Parking Lot	24	23	0	0	1	1	1	1	Yes
<b>TOTAL</b>	<b>24</b>	<b>23</b>	<b>0</b>	<b>0</b>	<b>1</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of the single designated accessible parking space at the common parking lot within Idyllwild Park currently allows direct access to the adjacent restroom/ shower building, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the designated accessible parking space.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

The sole Designated Accessible Parking Space was observed to be located on a weathered, settled asphalt surface with many cracks, potholes, and other barriers. The loading zone did not connect to any accessible features of the park site, most notably, to the adjacent restroom building. A few other action items are noted :

*ACTION ITEM 1.3.1: Provide the International Symbol of Accessibility (ISA) Symbol in proper proportions, in compliance with CBC 11B-502.6.4.1 or 11B-502.6.4.2.*

*ACTION ITEM 1.3.2: Provide "NO PARKING" in 12" tall characters at the leading edge of the passenger loading zones at all designated accessible parking spaces, in compliance with CBC 11B-502.3.3.*

*ACTION ITEM 1.3.3: Provide "Minimum Fine: \$250" signage at ALL parking spaces as defined by CBC 11B-502.6.2; Recommendation is to replace all existing signage with the Caltrans R99 signage shown in the beginning of this report.*

*Signage shall maintain 60" min. clearance where signs are located outside accessible routes, and 80" min. clear where located within accessible routes, as per CBC 11B-502.6.*

*ACTION ITEM 1.3.4: Grind and overlay asphalt paving to eliminate areas exceeding 1:48, as per CBC 11B-502.4, Exception #1. Excessive slope was noted at several locations throughout the parking areas at the various restroom (except New Group).*



*The sole Designated Accessible Parking Space is present on uneven asphalt with improper ISA markings, missing/ low signage, and has no accessible route between the loading zone and the adjacent restroom building.*



*Signage shall be remounted with proper height clearance, as well as Van designation and "MINIMUM FINE \$250" signage.*





## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 CAMPGROUND

Idyllwild Park features 88 primitive campsites for both RV and tent camping. Campsite #1 is designated as the Accessible campsite.

California Building Code 11B-246.2 states that where camping facilities are provided, that at least two campsites and one additional campsite for each 100 campsites or fraction thereof, shall be accessed by and connected to sanitary facilities by travel routes with a maximum slope of 1:12.

*ACTION ITEM 2.1.1: Renovate Campsite #1 and one additional campsite in a location near restroom/ shower facilities to meet the full requirements of CBC 11B-246.2.*

*ACTION ITEM 2.1.2: Provide an accessible route between designated accessible campsites and the closest adjacent sanitary facilities, as required by CBC-246.2.*



Campsite #1 is marked with an International Symbol of Accessibility, but does not provide an accessible route to the nearest sanitary facilities.



Amenities currently provided in the Designated Accessible Campsite are on an asphalt surface with excessive slope.

### 2.2 MEADOW AREA

The Meadow area includes picnic tables and barbecues under mature shade trees.

*ACTION ITEM 2.2.1: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*



Pictured: Meadow Picnic Area

### 2.2 MEADOW AREA (CONTINUED)

There is an information kiosk near the restroom/ shower building that has a low roof eave, causing an overhead obstruction within an area intended to be accessible.

*ACTION ITEM 2.2.2: Modify kiosk to provide consistent vertical clearance of at least 80 inches above finish grade, or provide a cane warning rail in full compliance with CBC 11B-307.4*



This information kiosk has three eaves that cause vertical clearance obstructions at approximately 74" above finish grade.

### 2.3 TRAILS

Idyllwild Park provides access to adjacent hiking trails. The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7)

*ACTION ITEM 2.3.1: Supplement existing trails to permit the ability for wheelchair occupants to use, in compliance with CBC 11B-246.7.*

*ACTION ITEM 2.3.2: Remove and replace existing benches with furnishings that fully comply with CBC 11B-903.*



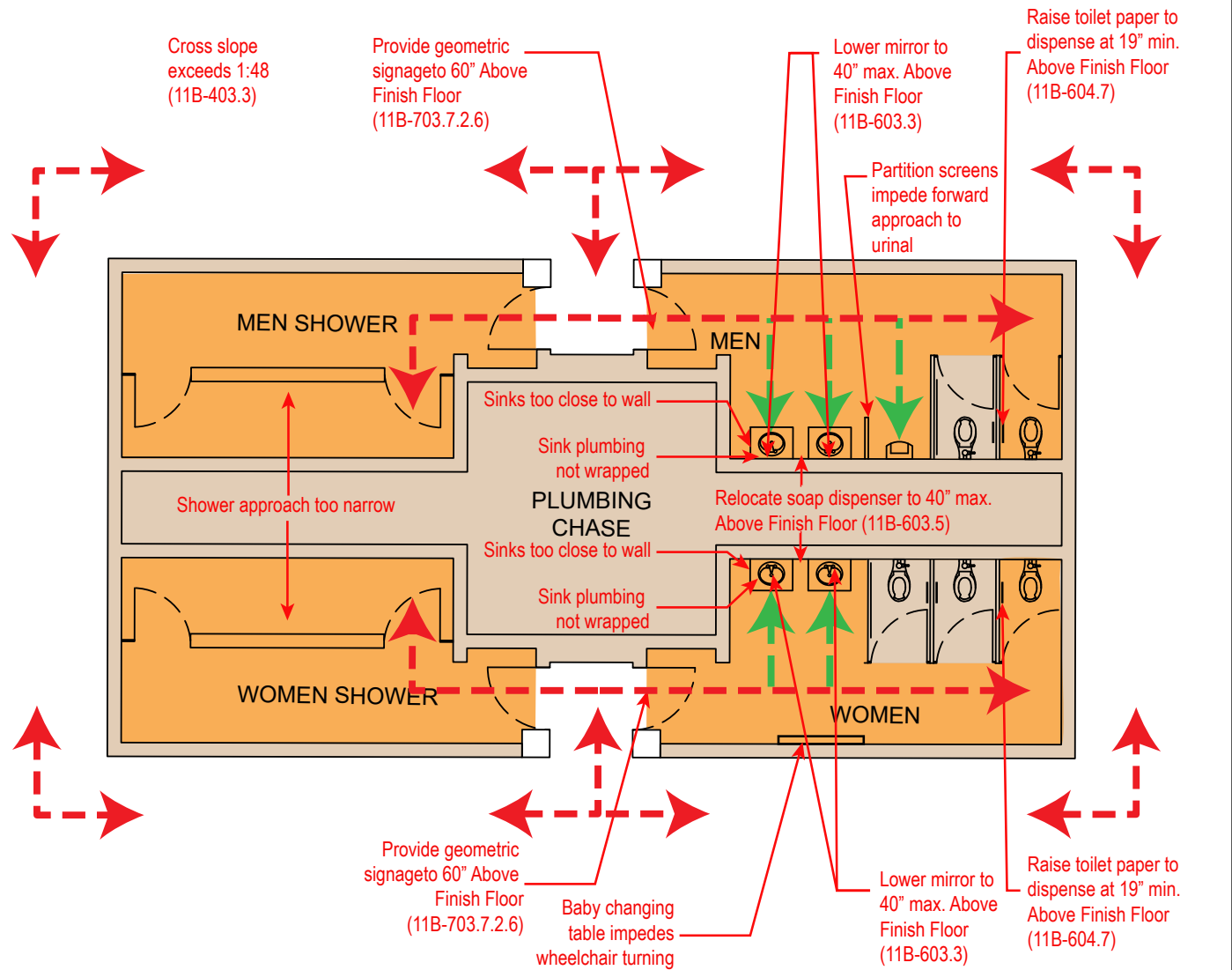
Trails shall be evaluated for alignment opportunities that will accommodate wheelchair use. This particular trail is fairly steep and not a likely candidate for modification.



Existing benches do not provide the proper depth nor back support required by CBC 11B-903.

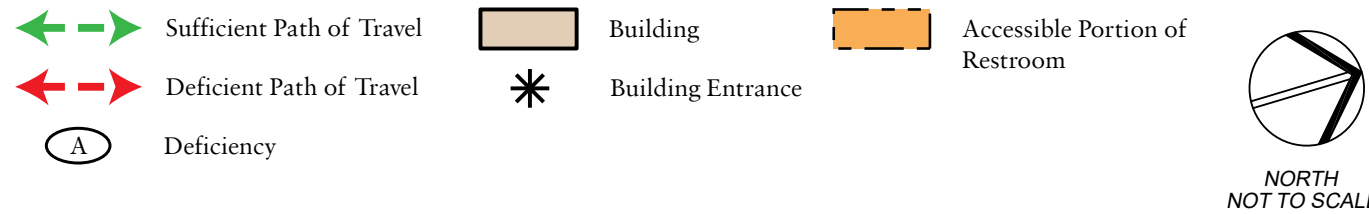


# MAIN RESTROOM FLOOR PLAN



- General Notes:**
- No accessible toilet compartments provided (11B-213.3.1)
  - Provide high-low drinking fountains (11B-211.1)
  - Grab bars need to be installed in accessible toilet compartments

### Legend



## 3.0 BUILDINGS

There is currently an entry kiosk and three restroom buildings within Idyllwild Park.

### 3.1 ENTRY GATE KIOSK

The Entry gate kiosk is not a publicly accessible building. The County employee accommodates park patrons at their vehicle.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 3.2 MAIN RESTROOM NEAR ENTRY

This building was not designed with accessible features.

#### Notable Access Barriers:

#### General

- Perimeter walkway has excessive slope, vertical displacement
- Grab bars provided at 32" wide stall only
- Toilet paper too high



Panoramic shot of men's restroom interior.

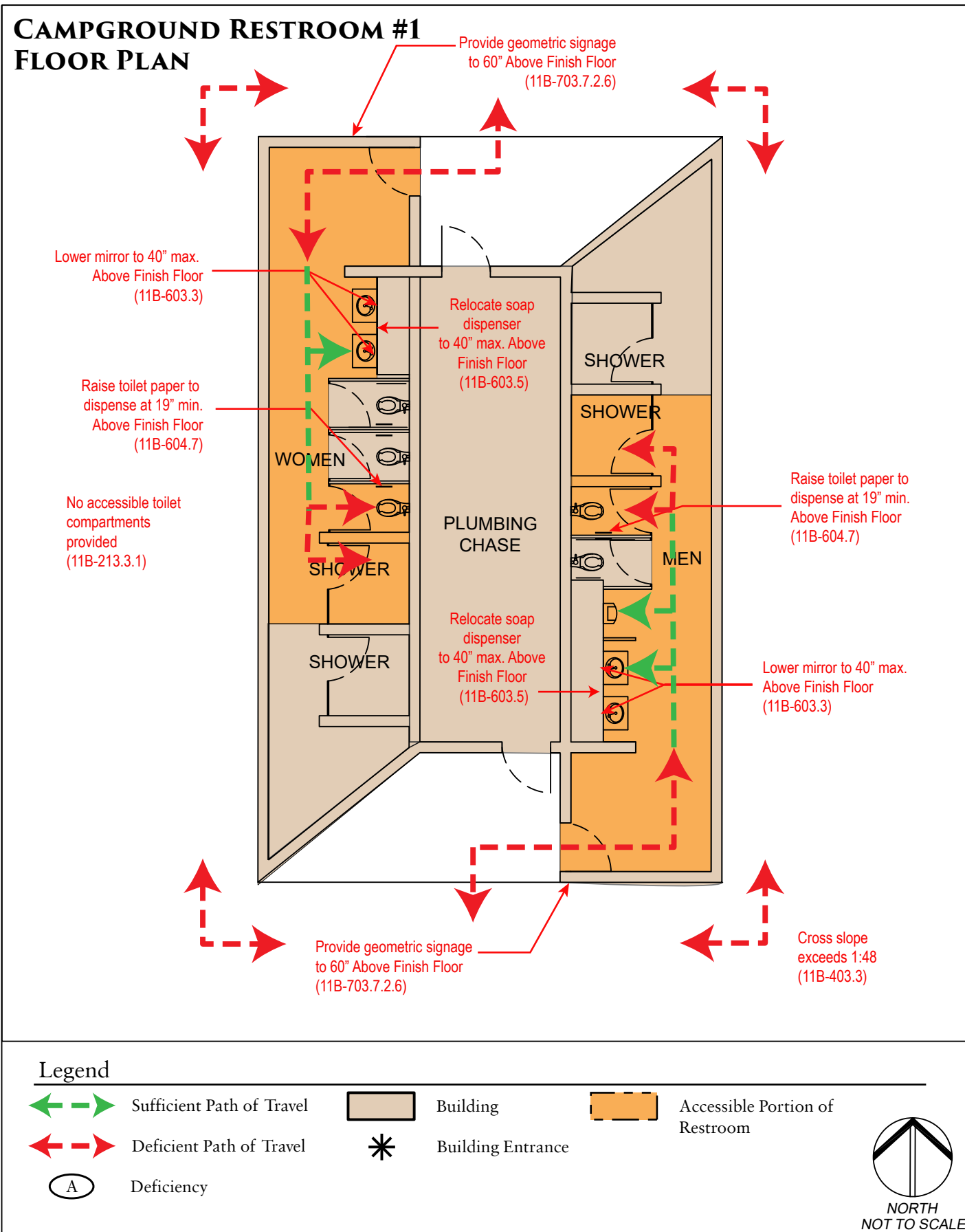
- Partition screens impede forward approach to urinal
- Sinks too close to wall
- Mirror and soap dispenser too high
- Sink plumbing not wrapped
- Geometric signage too high
- Baby changing table impedes wheelchair turning space
- Shower approach too narrow, requires 3" step



Walkway leading to restroom from parking.







### 3.3 CAMPGROUND RESTROOM #1

This building was not designed with accessible features.

#### Notable Access Barriers:

#### General

- Very steep slope heading into men's room
- Missing geometric signage
- Grab bars provided at 32" wide stall only
- Toilet paper too high
- Partition screens impede forward approach to urinal
- Sinks too close to wall
- Mirror and soap dispenser too high
- Sink plumbing not wrapped
- Coat hook too high
- Shower approach too narrow, requires 3" step

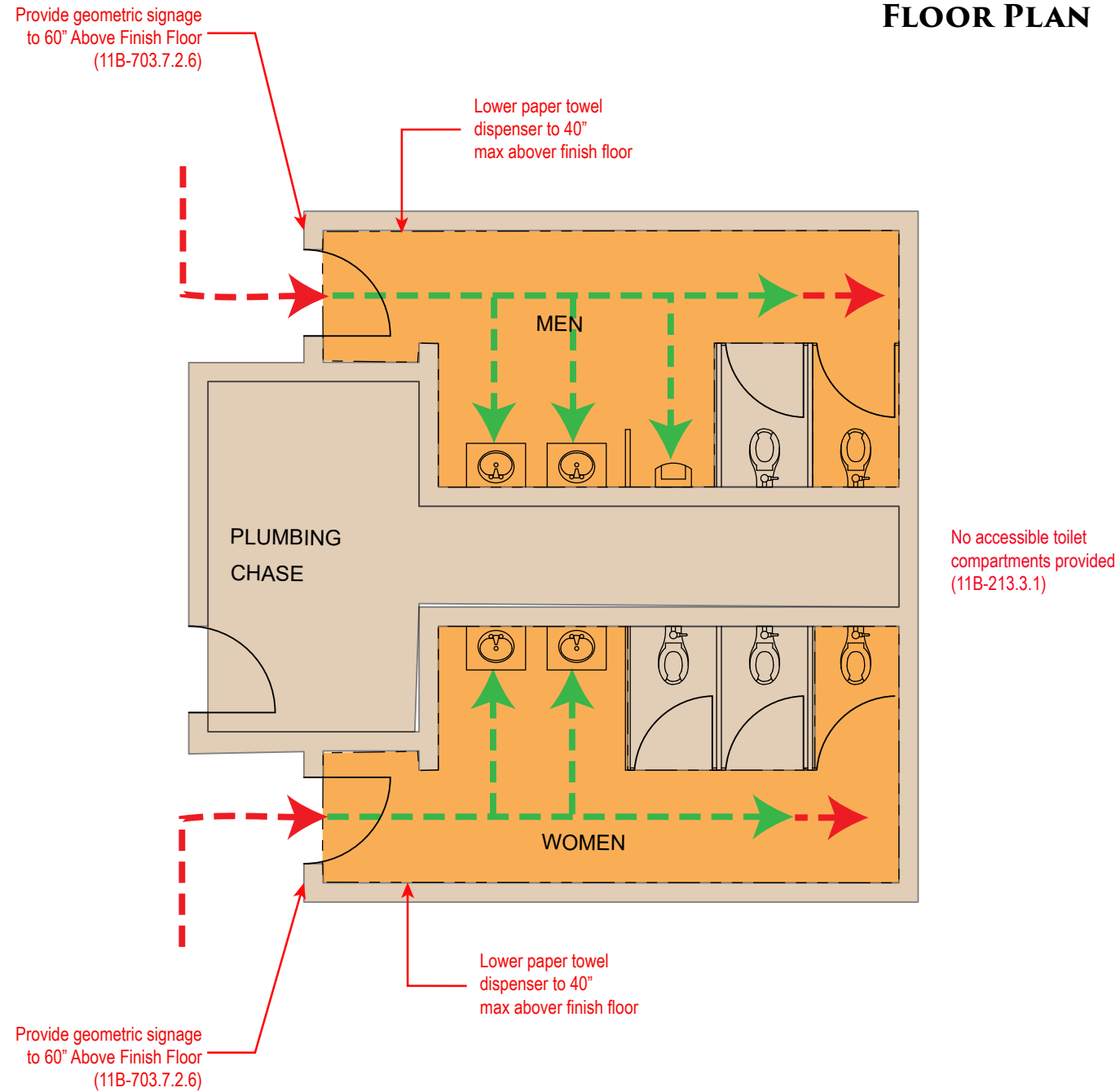


Very steep walk approach to men's room.

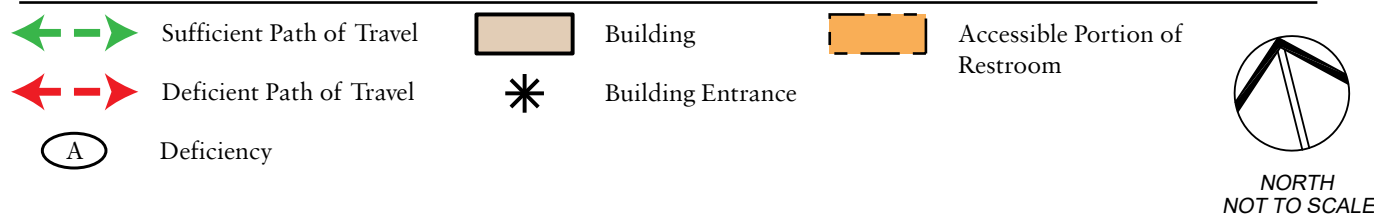


Panoramic shot of men's restroom interior.

## CAMPGROUND RESTROOM #2 FLOOR PLAN



### Legend



### 3.4 CAMPGROUND RESTROOM #2

This building was not designed with accessible features. However, this building appears to be able to be retrofitted to provide accessibility compliance.

#### Notable Access Barriers:

- No accessible connection to accessible campsite nor parking
- No geometric signage
- No accessible toilet compartments provided



Restroom Entrance



Rear view of restroom.



Panoramic view of restroom interior.



## SUMMARY OF CORRECTIVE ITEMS:

### IDYLLWILD PARK

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage at Main Lot	\$500	Immediate	
<b>1.0 PARKING</b>				
1.3	Renovate (1) Designated Van Accessible Parking Space and Loading zone; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	December 2019	
<b>2.1 RV/ TENT CAMPGROUND</b>				
2.1.1	Renovate (2) campsites near restroom to provide access within campsite and to restroom	\$30,000	June 2021	
2.1.1 interim	Provide Accessible Portable Restroom and hand washing station near two campsites until funding allows for major renovation efforts	\$2,000	Immediate	
2.1.2	Provide accessible concrete walkway between accessible campsites and restroom building (anticipate 2,500 SF)	\$30,000	June 2021	
<b>2.2 MEADOW/ DAY USE AREA</b>				
2.2.1	Provide accessible picnic tables at each picnic table grouping (4 recommended)	\$6,000	June 2019	
2.2.2	Renovate kiosk to eliminate overhead clearance issue	\$5,000	June 2019	
<b>2.3 TRAILS</b>				
2.3.1	Supplement trails with partial wheelchair accessibility	\$25,000	June 2023	
2.3.2	Replace bench with accessible models	\$1,500	June 2023	
<b>3.2 RESTROOM NEAR ENTRY</b>				
3.2.1	Provide adjacent accessible prefabricated restroom/ shower facility with signage at existing building redirecting disabled users to the accessible building (anticipate 400 SF pre-fab building)	\$250,000	June 2028	
3.2.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom building	\$1,000	Immediate	
3.2.2	Provide accessible walk between new accessible parking and new restroom/ shower building (coordinate with 1.1.2)	\$5,000	June 2019	
3.2.3	Provide high-low drinking fountain to existing building	\$3,000	June 2019	
<b>3.3 CAMPGROUND RESTROOM #1</b>				
3.3.1	Provide adjacent accessible prefabricated restroom/ shower facility with signage at existing building redirecting disabled users to the accessible building (anticipate 400 SF pre-fab building)	\$250,000	June 2025	
3.3.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom building or accessible campsite (coordinate with 2.1.1 interim)	\$1,000	Immediate	
3.3.2	Remove steep walkways leading to building and reroute with accessible walks / ramps	\$50,000	June 2025	
3.3.3	Provide high-low drinking fountain to existing building	\$4,000	June 2025	
<b>3.4 CAMPGROUND RESTROOM #2</b>				
Not inspected during site visit				
TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)		\$666,500		



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ACCESSIBILITY COMPLIANCE REPORT FOR:  
**ROY W. KABIAN PARK**

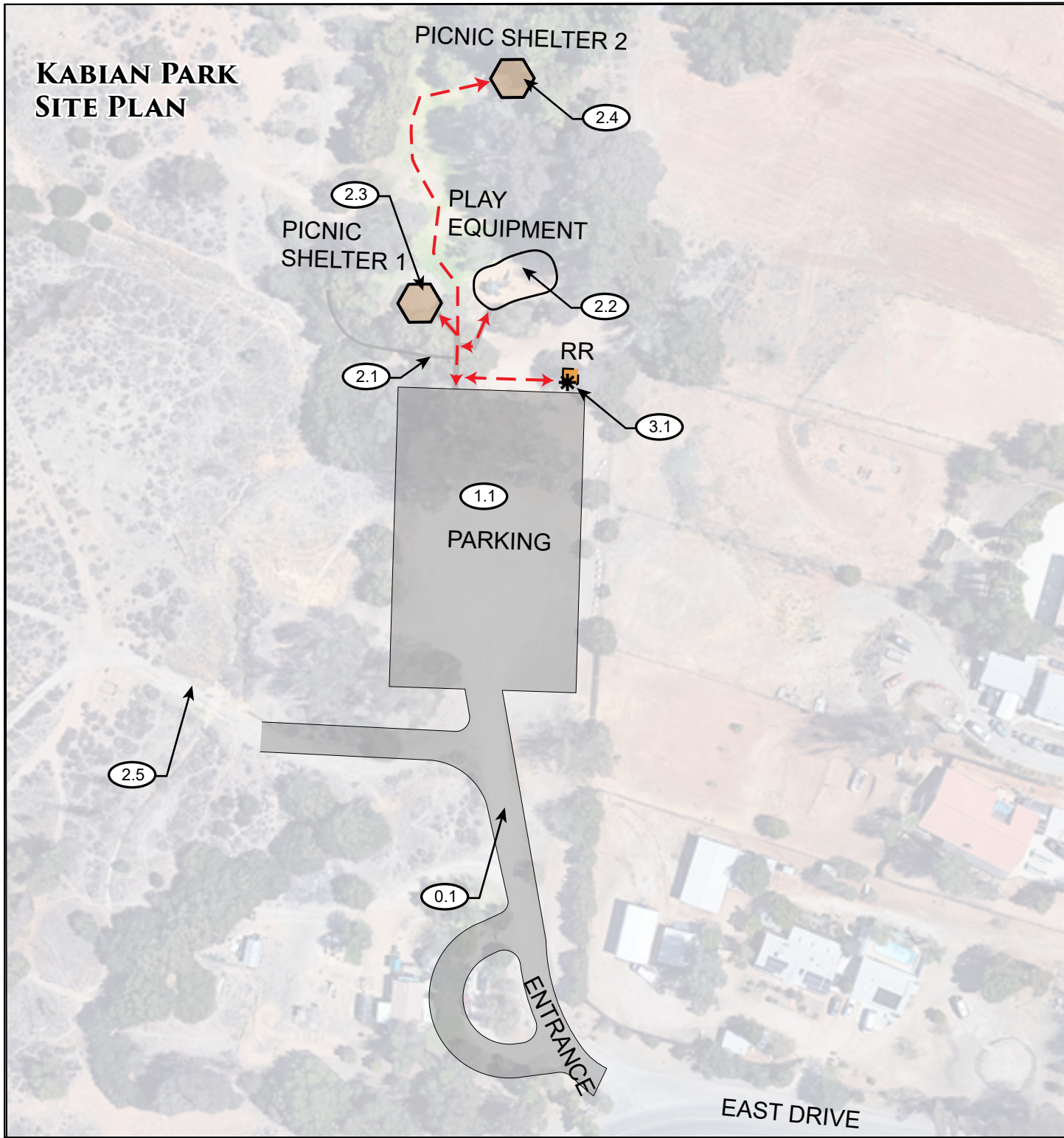
28001 Kabian Park Road  
 Quail Valley, CA 92587

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# KABIAN PARK SITE PLAN



### Legend

	Sufficient Path of Travel		Building		Restroom	 NORTH NOT TO SCALE
	Deficient Path of Travel		Parking		Building Entrance	
	Deficiency					

## INTRODUCTION

Kabian Park is located in the foothills of Quail Valley, just south of Perris and east of Canyon Lake. The park site consists of day use areas and trails. Due to the hilly location of Kabian Park, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Kabian Park was performed on Thursday, February 22, 2018, with a start time of approximately 2:30 pm. Scott Rice, CASp-709 toured the facility with Vicki Armentrout, Park Ranger Supervisor, and Robyn Jensen, Park Ranger, along with the park's caretaker.



*Pictured: Entry drive from Kabian Park Road into the park site. Asphalt road transitions to road base/soil at the park entry gate. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Goetz Road at Kabian Park Road. Nowhere along this unpaved entry drive is the sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

As Kabian Park is located within a rural residential area with no sidewalks nor improved road shoulders, pedestrian access first becomes apparent near the day use area. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

There is no rapid transit service in the general area. The park is located approximately 5 miles southwest from the Perris Valley Metrolink Station.

*ACTION: No action required by ADA nor CBC at the time of this report.*





## 1.0 PARKING ANALYSIS

### 1.1 OVERVIEW OF OFF-STREET PARKING

Kabian Park includes an common unpaved off-street parking area, with no marked parking spaces. The parking area appears to have sufficient space for approximately 50 automobiles.

*ACTION ITEM 1.1: Provide at least one Designated Van-Accessible Parking Space and one standard Designated Accessible Parking Space on a firm, stable and slip resistant surface, conforming to the full requirements of CBC 11B-502.*



There are currently no Designated Accessible Parking Spaces at Kabian Park.

### 1.2 DISPERSION OF ACCESSIBLE PARKING

See 1.1 above. Since there is currently no provision of Designated Accessible Parking Spaces, dispersion is not applicable. Once accessible spaces are provided, it is likely that they will be concentrated in one area of the parking lot only, near the play area.

*ACTION ITEM 1.2: In conjunction with Action Item 1.1 above, locate the Designated Accessible Parking Spaces at the closest location to the park amenities.*

### 1.3 CONDITION OF ACCESSIBLE PARKING

See 1.1 above. Not applicable.

*ACTION ITEM 1.3.1: See Action Item 1.1 above.*

## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 ENTRY WALK

A concrete walkway begins midway through a drainage culvert crossing, then diverges to connect to a playground and one of the park's two group picnic shelters. While the width and surface of the concrete is sufficient width, an accessible turning space is not present at the walkway intersection, as both the running and cross slope of each walk exceeds 1:48.

*ACTION ITEM 2.1: Remove and replace portions of concrete walkway that exceed maximum running/ cross slope, with walkway that is fully compliant with CBC 11B-304.2 and 11B-403.*



There are currently no Designated Accessible Parking Spaces at Kabian Park.

### 2.2 PLAYGROUND

The playground itself is fairly recent in construction. However, the entire playground is on loose engineered wood fiber, observed to be variable in height at key accessible areas, such as the ramp leading into the play area as well as the slide exits and transfer stations.



*ACTION ITEM 2.2.1: Maintain wood playground mulch at heights and surface continuity to allow accessible connectivity between play components, and at proper heights for transfer points and slide exits, in full compliance with CBC 11B-1008.2; Since frequent maintenance of playground surface is required by CBC 11B-1008.2.6.1, the installation of rubber safety surfacing to provide an accessible path to all accessible ground level play features and transfer stations is recommended.*

*ACTION ITEM 2.2.2: Provide contrasting stripe at each transfer step on the playground, as per CBC 11B-1008.3.2.4*



## 2.3 PICNIC SHELTER #1

There are two picnic shelters within Kabian Park. The first shelter is on a concrete walkway. There is a single drinking fountain, several picnic tables, and a group barbecue.



*ACTION ITEM 2.3.1: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.3.2: Remove existing drinking fountain and replace with a high/low unit, in compliance with the full requirements of CBC 11B-602.*

*ACTION ITEM 2.3.3: Provide wheelchair access for side approach at the barbecue, within the reach range requirements of CBC 11B-308.3*

*ACTION ITEM 2.3.4: Renovate concrete slab to eliminate changes in level, wide cracks, etc., in full compliance with CBC 11B-302.*

*ACTION ITEM 2.3.5: Adjust soil grade along the southern edge of the shelter to eliminate the drop off that is currently present, or provide a 6" curb in full compliance with CBC 11B-303.5.*



*The drinking fountain does not meet the height requirements for either of the two height ranges: wheelchair accessible spout at 36" max, or standing person spout outlet between 38"-43".*



*The orientation of the barbecue is not conducive to use by wheelchair occupants.*

## 2.4 PICNIC SHELTER #2

Shelter #2 is located on the opposite end of the open lawn area at Kabian Park. There is not currently an accessible pathway connecting Shelter #2 to any of the park's other amenities.



*Picnic Shelter #2 is not connected to any other accessible amenities within Kabian Park.*

*ACTION ITEM 2.4.1: Provide an accessible connection to Shelter #2 from the park entrance and other park amenities, in compliance with CBC 11B-206 and 11B-246.5.*

*ACTION ITEM 2.4.2: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.4.3: Remove existing drinking fountain and replace with a high/low unit, in compliance with the full requirements of CBC 11B-602.*

*ACTION ITEM 2.4.4: Provide wheelchair access for side approach at the barbecue, within the reach range requirements of CBC 11B-308.3*

*ACTION ITEM 2.4.5: Renovate concrete slab to eliminate changes in level, wide cracks, etc., in full compliance with CBC 11B-302.*

## 2.5 TRAILS

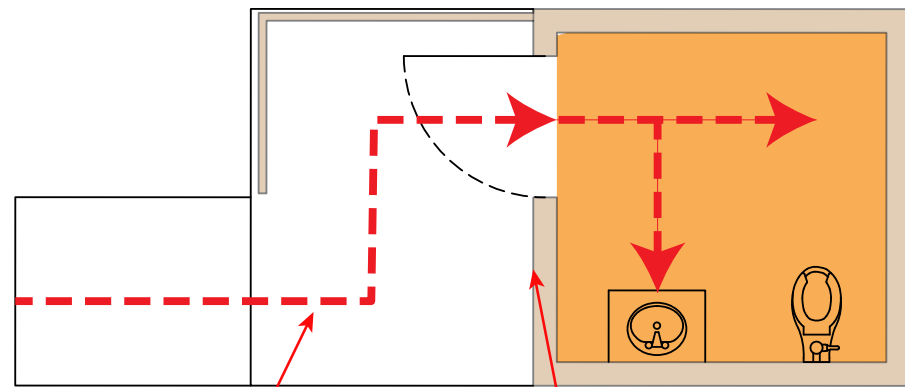


*Typical scene of trails within Kabian Park.*

Kabian Park's amenity areas essentially serve as a trailhead for several trails extending into the surrounding open space. The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7)

*ACTION ITEM 2.3.1: Supplement existing trails to permit the ability for wheelchair occupants to use, in compliance with CBC 11B-246.7.*

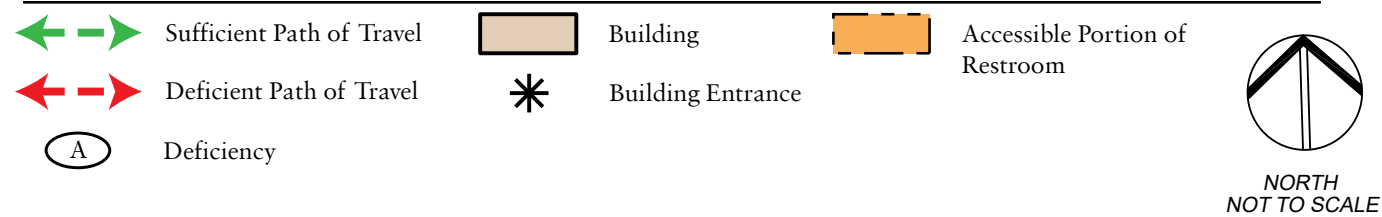
## SINGLE USER RESTROOM FLOOR PLAN



Cross slope exceeds 1:48 (11B-403.3)

Provide geometric signage to 60" Above Finish Floor (11B-703.7.2.6)

### Legend



## 3.0 BUILDINGS

There is one gender neutral restroom building within Kabian Park. However, the building itself appears to be fairly compliant.

### 3.1 SINGLE USER RESTROOM

#### Notable Access Barriers:

#### General

- No accessible approach to building (excessive running slope, no edge protection handrails)
- Missing geometric signage
- Excessive interior floor slope
- Side grab bar does not extend 54" min. from head wall



Excessive slope to restroom entry.



Excessive slope at restroom floor.



## SUMMARY OF CORRECTIVE ITEMS:

### KABIAN PARK

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage	\$250	Immediate	
<b>1.0 PARKING</b>				
1.1	Provide (1) Concrete Designated Van Accessible Parking Space, (1) Standard Accessible Parking Space and Loading zone at Parking Lot; assume 750 SF, signage, striping, etc.	\$5,000	June 2020	
<b>2.1 ENTRY WALK</b>				
2.1.1	Remove/ replace portions of concrete walkway that exceed max running/ cross slopes; supplement with new concrete walk to connect to restroom, accessible parking and Shelter #2- assume 2,500 SF	\$20,000	June 2020	
<b>2.2 PLAYGROUND</b>				
2.2.1	Replace wood mulch with poured-in-place rubber surfacing within span of ground level accessible features (anticipate 1,500 SF)	\$25,000	June 2021	
2.2.1 interim	Refresh wood mulch to maintain proper transfer heights, etc.	\$1,000	December 2018	
2.2.2	Provide contrasting stripe at transfer steps	\$150	Immediate	
<b>2.3 PICNIC SHELTER #1</b>				
2.3.1	Provide (1) Accessible Picnic Table	\$1,500	June 2019	
2.3.2	Replace drinking fountain with high/low model	\$4,000	June 2019	
2.3.3	Provide side approach to barbecue	\$500	June 2019	
2.3.4	Renovate Picnic Area concrete slab (assume 1,000 SF)	\$7,500	June 2019	
2.3.5	Adjust soil grade at shelter to eliminate drop-off	\$500	Immediate	
<b>2.4 PICNIC SHELTER #2</b>				
2.4.1	Provide connecting accessible walk (see 2.1.1)	\$0	June 2020	
2.4.2	Provide (1) Accessible Picnic Table	\$1,500	June 2020	
2.4.3	Replace drinking fountain with high/low model	\$4,000	June 2020	
2.4.4	Provide side approach to barbecue	\$500	June 2020	
2.4.5	Renovate Picnic Area concrete slab (assume 1,000 SF)	\$7,500	June 2020	
<b>2.5 TRAILS</b>				
2.5	Provide partial wheelchair access	\$10,000	June 2023	
<b>3.1 RESTROOM</b>				
3.1.1	Remove concrete walk approach and replace with accessible walkway (coordinate with 2.1.1)	\$5,000	June 2019	
3.1.2	Provide gender neutral geometric sign at door	\$100	Immediate	
3.1.3	Add topping surface to reduce floor slope	\$500	December 2018	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$94,500		





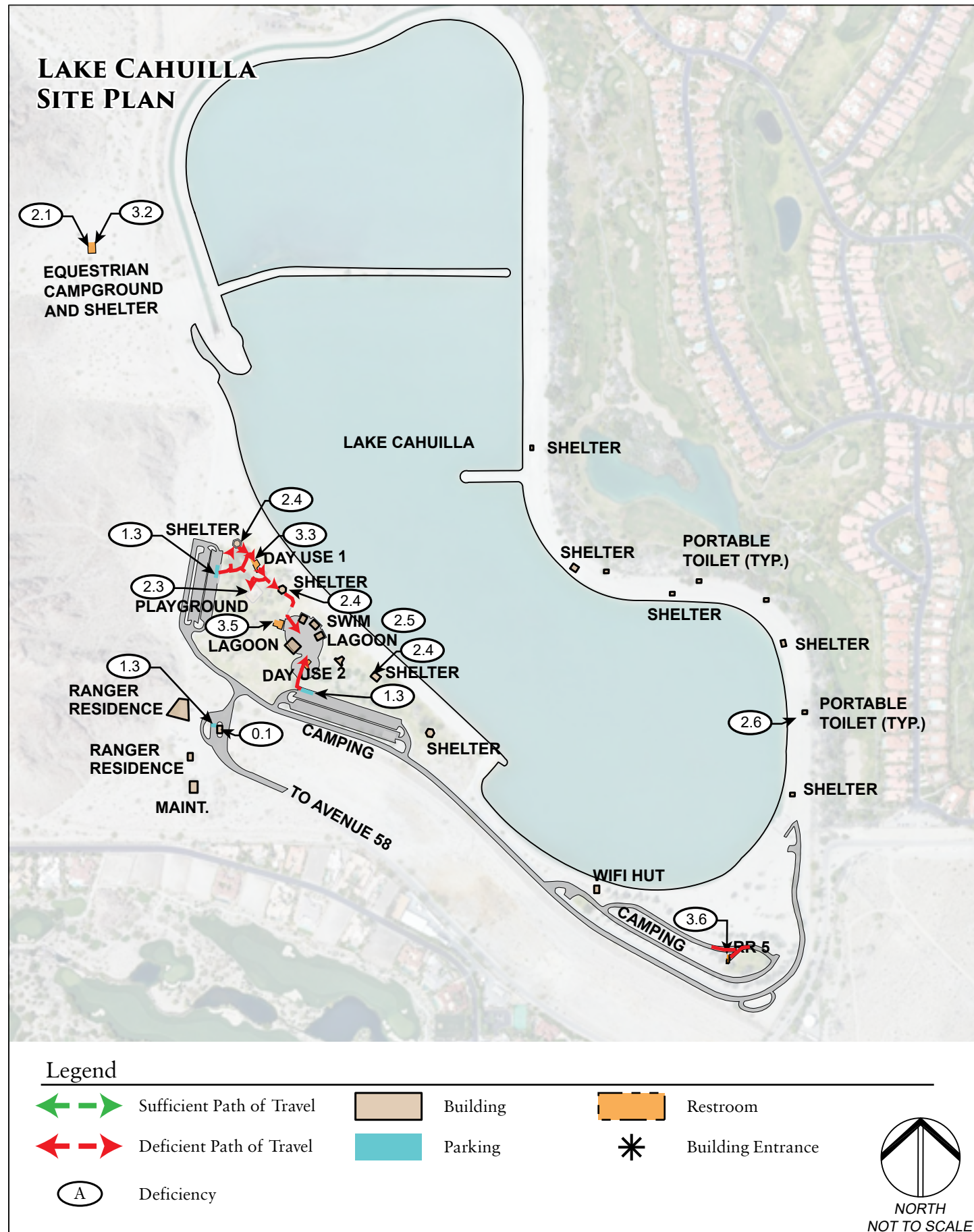
ACCESSIBILITY COMPLIANCE REPORT FOR:  
**LAKE CAHUILLA RECREATION AREA**

58075 Jefferson Street  
La Quinta, CA 92253

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## INTRODUCTION

Lake Cahuilla Recreation Area is located in the Coachella Valley, just south of La Quinta. The park site consists of RV and primitive/ equestrian campgrounds, fishing, swim lagoon, day use areas and trails. Due to the remote location, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Lake Cahuilla was performed on Tuesday, January 30, 2018, with a start time of approximately 8:30 am. Scott Rice, CASp-709 toured the facility with Vicki Armentrout, Park Ranger Supervisor, and Nori Gardner, Park Ranger.



*Pictured: Guard-controlled entry into Lake Cahuilla. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Jefferson Street. Nowhere along this entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on Jefferson Street in the immediate vicinity of Lake Cahuilla. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is SunLine Transit Agency. No existing routes travel past the entrance to the park site. The closest SunLine route to the site is Line 70 (closest bus stop located approximately 7 miles from Lake Cahuilla).

*ACTION: No action required by ADA nor CBC at the time of this report.*



# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Lake Cahuilla Recreation Area includes a total of 296 marked off-street parking spaces, divided amongst three paved parking lots at various locations throughout the park site, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				Provided > Required?
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	
Near Guard House	5	4	0	0	1	1	1	1	No
West of Day Use	114	109	0	0	5	5	0	1	Yes
South of Day Use	177	159	13	0	5	5	0	1	No
Primitive/ Equestrian Camp; Fishing	(Unpaved/ Non-marked parking)								
<b>TOTAL</b>	<b>296</b>	<b>272</b>	<b>13</b>	<b>0</b>	<b>11</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Provide one Designated Van-Accessible Parking Space in the parking lot located south of the lagoon, in compliance with CBC 11B-502.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at each of the three parking lots at Lake Cahuilla Recreation Area currently allow for accessible parking to be located in close proximity to the building and/or key amenity they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

Where Designated Accessible Parking Spaces have been provided at Lake Cahuilla, the dimensions of the parking spaces is typically compliant. Striping is in general compliance, however, the “NO PARKING” designation in 12” tall white painted letters at loading zones was NOT observed at any of the loading areas, except where remnants of old paint applications were partially visible under more recent striping efforts. International Symbol of Accessibility was provided at each Designated Accessible Parking Space. Most Designated Accessible Parking Spaces and adjacent access aisles were mostly found to be compliant in slope (1:48 maximum). Detectable warning (truncated domes) were NOT provided in Federal Yellow color, with proper contrasting surface resiliency, between accessible walkways and adjacent parking/ vehicular areas, where these walkways had a zero-curb condition (walkway and parking meeting flush in elevation to one another). A few action items are noted on the following page:

*ACTION ITEM 1.3.1: Provide “NO PARKING” in 12” tall characters at the leading edge of the passenger loading zones at all designated accessible parking spaces, in compliance with CBC 11B-502.3.3.*

*ACTION ITEM 1.3.2: Provide “Minimum Fine: \$250” signage at each Designated Accessible Parking Space as defined by CBC 11B-502.6.2; Recommendation is to replace all existing signage with the Caltrans R99 signage shown in the beginning of this report. Signage shall maintain 60” min. clearance where signs are located outside accessible routes, and 80” min. clear where located within accessible routes, as per CBC 11B-502.6.*

*ACTION ITEM 1.3.3: Grind and overlay asphalt paving to eliminate areas exceeding 1:48, as per CBC 11B-502.4, Exception #1. Excessive slope was noted at several locations throughout the parking area south of the lagoon.*

*ACTION ITEM 1.3.4: Where applicable, restripe passenger loading zones to reflect full 8’ width required for van parking spaces, in compliance with CBC 11B-502.2, Exception #1.*

*ACTION ITEM 1.3.5: At the southernmost Designated Accessible Parking Spaces at the parking lot west of the Day Use area, as well as all of the Designated Accessible Parking Spaces located south of the lagoon, provide an accessible connection to park amenities. Currently, there is no accessible path beyond the loading zones. Per CBC 11B-502.7.1, parking spaces and access aisles/ loading zones shall be designed so that persons using them are not required to travel behind parking spaces other than to pass behind the parking space in which they parked.*



The Designated Accessible Parking Space near the Guard House at the Park entry is missing the “MINIMUM FINE \$250” sign, and does not have detectable warning where the loading zone crosses into a hazardous vehicle area.



Designated Accessible Parking Spaces west of the Day Use area have a mix of compliant and non-compliant features. See action items.



An informational sign about the importance of recycling, is impeded by the recycling receptacle itself.



At the parking lot due south of the Day Use area, the loading zones do not connect to accessible routes heading to park amenities.



## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 EQUESTRIAN CAMPGROUND

The equestrian campground at Lake Cahuilla Recreation Center features 20 equestrian campsites and 35 dry camping sites. There are not currently any designated accessible campsites within this area.

California Building Code 11B-246.2 states that where camping facilities are provided, that at least two campsites and one additional campsite for each 100 campsites or fraction thereof, shall be accessed by and connected to sanitary facilities by travel routes with a maximum slope of 1:12.

This campsite provides a group picnic shelter and a restroom/ shower building. The picnic shelter has 7 tables and 2 group barbecues.



Group picnic shelter at Equestrian Campground.



Bocce court at Equestrian Campground.

*ACTION ITEM 2.1.1: Renovate a minimum of two campsites in a location near restroom/ shower facilities to meet the full requirements of CBC 11B-246.2.*

*ACTION ITEM 2.1.2: Provide an accessible route between designated accessible campsites and the closest adjacent sanitary facilities, as required by CBC-246.2. Extend accessible route to connect to the group picnic shelter.*

*ACTION ITEM 2.1.3: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.1.4: Provide wheelchair access for side approach at the barbecue, within the reach range requirements of CBC 11B-308.3*

### 2.2 RV CAMPGROUND

There are 55 RV hookup campsites at Lake Cahuilla. One campsite is marked with the sign designated for designated accessible parking.

The RV Campground has one restroom/ shower building, as well as a shelter with WiFi internet access.

*ACTION ITEM 2.2.1: Renovate the currently designated accessible RV campsite, and a minimum of one additional RV campsite in a location near restroom/ shower facilities to meet the full requirements of CBC 11B-246.2.*

*ACTION ITEM 2.2.2: Provide an accessible route between designated accessible campsites and the closest adjacent sanitary facilities, as required by CBC-246.2. Extend accessible route to connect to the WiFi hut.*

*ACTION ITEM 2.2.3: Replace the picnic table within the Designated Accessible Campsite to meet full compliance with the requirements of CBC 11B-902.*



Designated Accessible Campsite within RV Campground at Lake Cahuilla.



Existing picnic table within the Designated Accessible Campsite has a severely warped table top.



WiFi Hut within the RV portion of Lake Cahuilla does not currently provide an accessible path to the facility.



### 2.3 PLAYGROUND AND OPEN SPACE

This entire day use area was constructed on a fairly steep slope, heading downward toward Lake Cahuilla. Accordingly, there are running and cross slope issues with nearly every walk within the immediate vicinity. There are groupings of picnic tables and barbecues present, but generally not in accessible areas. See action items on the next page.



Steep, undulating walkway to restrooms. Standing water also present within walkway areas.



Non-accessible picnic tables and barbecues in shaded areas adjacent to walkways.



Typical example of excessive cross slope and running slope at walkway intersections.



Playground surfacing is separating from perimeter curb, creating a gap larger than the maximum 1/2" allowable by accessibility codes.

*ACTION ITEM 2.3.1: Provide a realigned circulation walkway to connect the Designated Accessible Parking Spaces with all provided amenities, including but not limited to playground, picnic table groupings, restrooms and lagoon. This will likely require a substantially different walkway location in order to accommodate accessibility requirements, given the existing sloped topography.*

*ACTION ITEM 2.3.2: Where provided, the designated accessible amenities listed in Action Item 2.2.1 above shall meet accessibility requirements for dimensions and layout.*

*ACTION ITEM 2.3.3: Where drinking fountains are provided, a fountain meeting the full accessibility requirements of CBC 11B-602 shall be provided.*

*ACTION ITEM 2.3.4: Provide contrasting stripe at each transfer step on the playground, as per CBC 11B-1008.3.2.4.*

*ACTION ITEM 2.3.5: Repair playground surfacing to eliminate gaps at accessible routes, as per CBC 11B-1008.2.6.1.*

### 2.4 PICNIC SHELTERS

There are four fabric-covered shade shelters at various locations in the day use area, all within a consistent distance from the waterfront. Only one of these shelters is serviced by a concrete, albeit non-accessible, walkway. A grouping of picnic tables is present at each shelter.

*ACTION ITEM 2.4.1: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.4.2: Provide an accessible connection between each of the park shelters from the nearest Designated Accessible Parking Spaces, in compliance with CBC 11B-206 and 11B-246.5.*



Non-accessible picnic tables are pushed together, with insufficient circulation clearances, at each of the four fabric covered picnic shelters near the waterfront.



## 2.5 LAGOON

There is a large enclosed swim lagoon with a beach entry. Outdoor showers are present, as well as a pool lift meeting the general requirements of CBC 11B-1009 located near a lifeguard tower. Picnic tables and benches are situated under fabric shade shelters within the fenced perimeter. The entrance gates require an attendant to enter the pool space, with the latch mounted above reach range and the slope of the entry walk being steeper than allowable for the sake of accessibility. See next page for action items.



Typical example of picnic tables under shade at perimeter.



Pool lift provided at deep end of lagoon, located between depth markers indicating the water is deeper than 3' but shallower than 5'.



Non-recreational standing water is present within the circulation area.



Shower actuation buttons are located outside of reach range for wheelchair users.

## 2.5 LAGOON (CONTINUED)

*ACTION COMMENT: The sloped entry into the lagoon meets the requirement of CBC 11B-1009.3.3, exception #3, which states that sloped entries in wading pools shall not be required to have handrails. However, see Action Item 2.5.1 for further action required within the lagoon pool.*

*ACTION ITEM 2.5.1: Per CBC 11B-1009.3.2, sloped entries shall extend to a depth of 24" minimum AND 30" MAXIMUM below the stationary water level. From cursory review of the lagoon, it appeared that the lagoon pool's sloped entry maintained slope to 5' depth without landings. Extensive retrofitting is likely necessary to create an accessibility compliant zone within the lagoon pool.*

*ACTION ITEM 2.5.2: Inspection was performed without the presence of water in the pool. Therefore, pool lift shall be checked to confirm that the pool lift enters the water where the water level is 36" minimum and 48" maximum, as per CBC 11B-1009.2.1.*

*ACTION ITEM 2.5.3: Provide showers with actuation buttons mounted within the reach ranges listed in CBC 11B-308 and 11B-309.4.*

*ACTION ITEM 2.5.4: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.5.5: Fix drainage along south edge of the enclosed lagoon area as to eliminate standing water within the pedestrian circulation area.*

*ACTION ITEM 2.5.6: In conjunction with Action Item 2.3.1, renovate walkways connecting to lagoon to provide a fully accessible route from the closest Designated Accessible Parking Spaces to the enclosed lagoon area.*

## 2.6 FISHING AREAS

Several shelters are present along the eastern and northern shores of Lake Cahuilla to provide shade relief for fishers. These shelters are in various states of repair, with a notably low beam creating a vertical clearance issue in some locations. Also provided in several locations are several groupings of portable toilets, equally spaced within the fishing area, as the distance to the nearest permanent restroom facility would require considerable advanced planning to reach the facility in time of need. However, no wheelchair accessible portable restrooms are currently provided. See next page for action items and additional photos.



Example of one fishing shelter location with insufficient overhead clearance.



## 2.6 FISHING AREAS (CONTINUED)

*ACTION ITEM 2.6.1: Designate at least one of the fishing shelters as accessible (at a minimum, meet applicable accessibility standards for shelter and related amenities, and provide signage indicating the International Symbol of Accessibility (ISA)).*

*ACTION ITEM 2.6.2: Provide an accessible connection between the designated accessible fishing shelter from the nearest Designated Accessible Parking Spaces (DAPS), in compliance with CBC 11B-206 and 11B-246.5. This will likely require the addition of a Van-Accessible Parking Space and loading zone in close proximity to one shelter.*

*ACTION ITEM 2.6.3: Provide an accessible connection between the designated accessible fishing shelter and a wheelchair accessible portable (or permanent) sanitary facility.*

*ACTION ITEM 2.6.4: Reconstruct fishing shelter(s) to provide a consistent minimum vertical clearance of at least 80 inches above finish grade, or provide a cane warning rail in full compliance with CBC 11B-307.4*

*ACTION ITEM 2.6.5: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*



Low beam height at one shelter, as noted in Action Item 2.6.4



Example of typical amenities provided at fishing shelters.

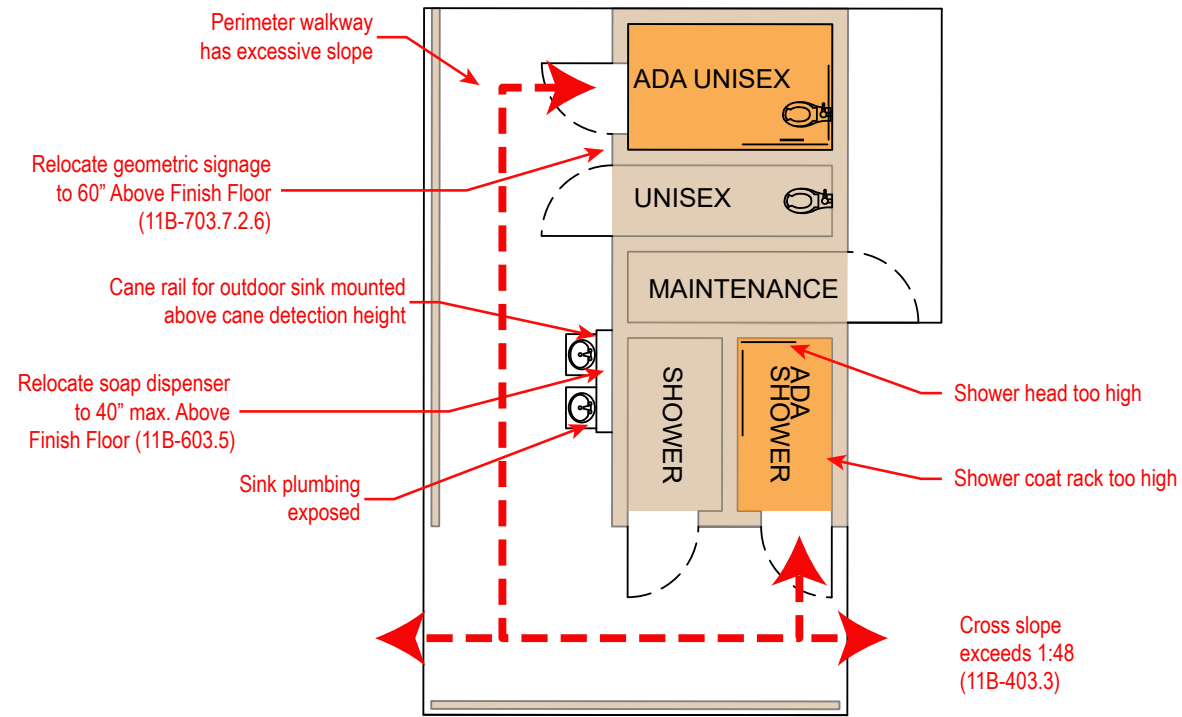


Typical example of portable restroom enclosure with no wheelchair-accessible portable toilet.





# EQUESTRIAN RESTROOM FLOOR PLAN



**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom	
	Deficient Path of Travel		Building Entrance			
	Deficiency					

NORTH  
NOT TO SCALE

## 3.0 BUILDINGS

There are several publicly accessed restroom buildings within Lake Cahuilla Recreation Area.

### 3.1 ENTRY KIOSK

The Entry gate kiosk is not a publicly accessible building. The County employee accommodates park patrons at their vehicle.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 3.2 EQUESTRIAN CAMP RESTROOM

This building was designed with somewhat accessible features.

#### Notable Access Barriers:

##### General

- Perimeter walkway has excessive slope
- Geometric signage mounted too low
- Sink plumbing not wrapped
- Soap dispenser and paper towels too high
- Cane rail for outdoor sink mounted above cane detection height
- Shower coat rack too high
- Shower head too high

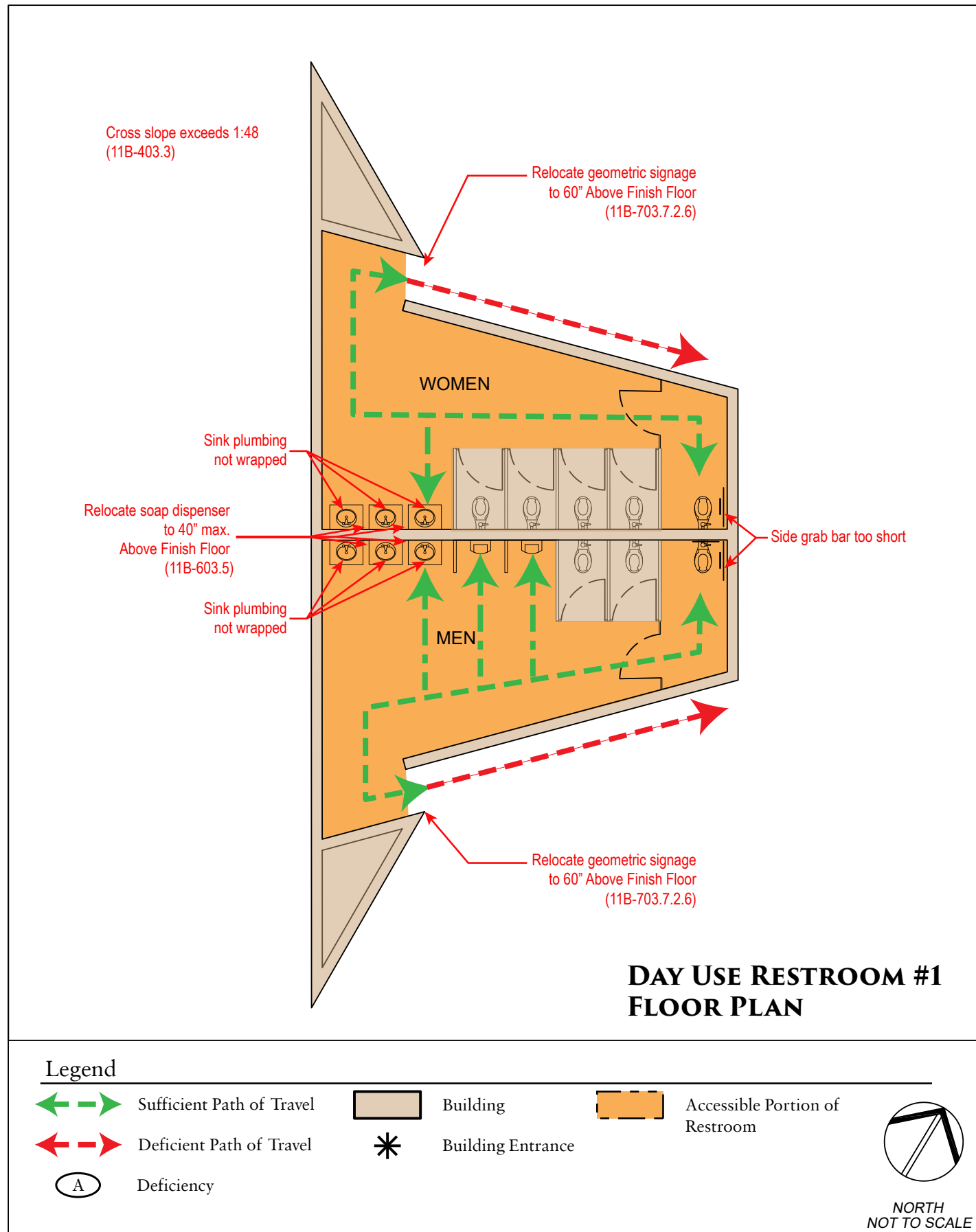


Shower-facing portion of Equestrian Restroom building.



Accessible Single User Restroom.





### 3.3 DAY USE RESTROOM #1

This building was designed with somewhat accessible features.

*Notable Access Barriers:*

**General**

- Perimeter walkway has excessive slope
- Geometric signage (where provided) mounted above door frame (should be centered 60' AFF)
- Sink plumbing not wrapped
- Soap dispensers too high
- Side grab bar too short



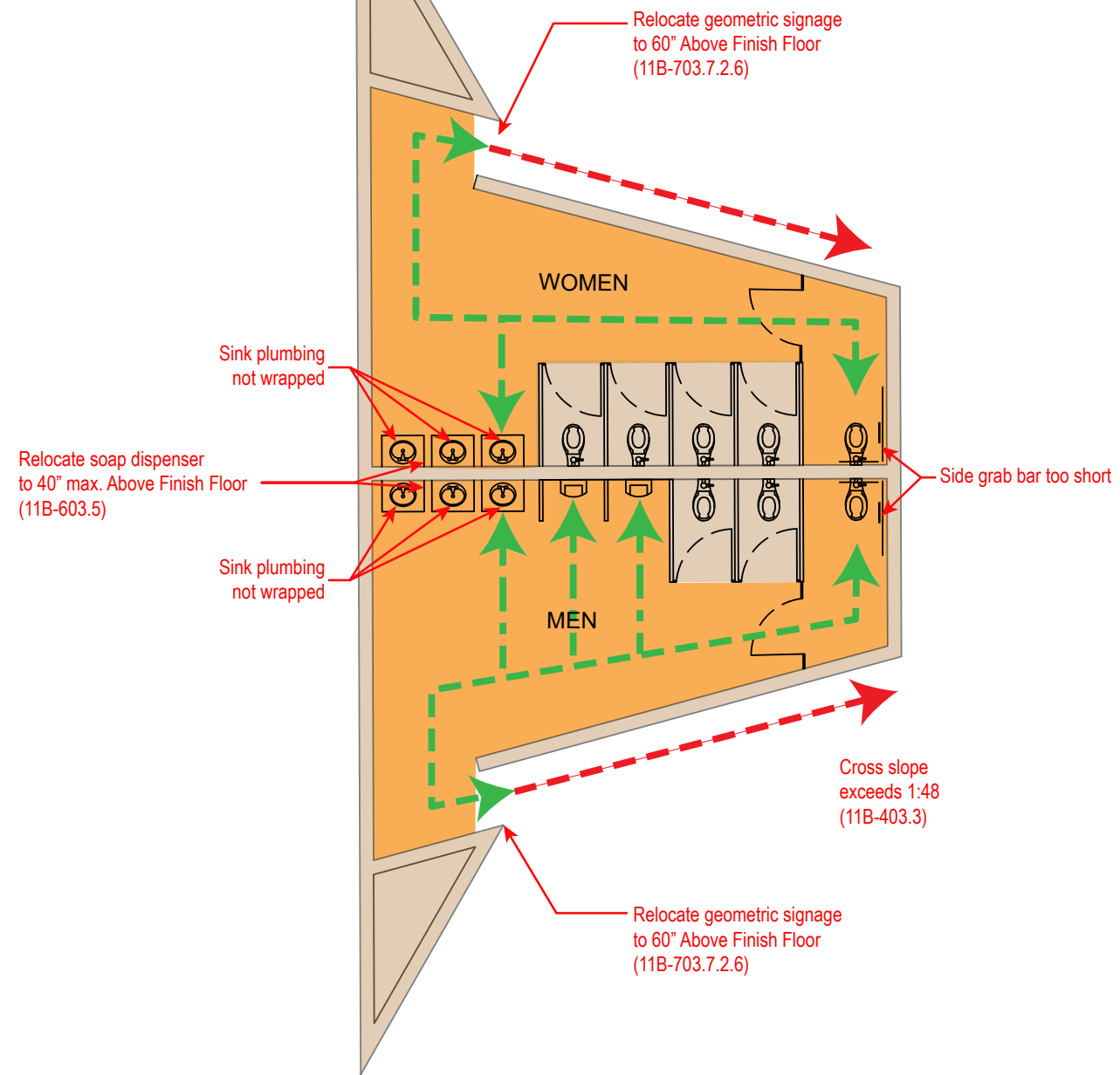
*Non-accessible walks leading to restroom.*



*Panoramic view of inside men's restroom.*



## DAY USE RESTROOM #2 FLOOR PLAN



**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom	
	Deficient Path of Travel		Building Entrance			
	Deficiency					

NORTH  
NOT TO SCALE

## 3.4 DAY USE RESTROOM #2

This building appears identical to Day Use Restroom #1.

### Notable Access Barriers:

#### General

- Perimeter walkway has excessive slope
- Geometric signage (where provided) mounted above door frame (should be centered 60' AFF)
- Sink plumbing not wrapped
- Soap dispensers too high
- Side grab bar too short



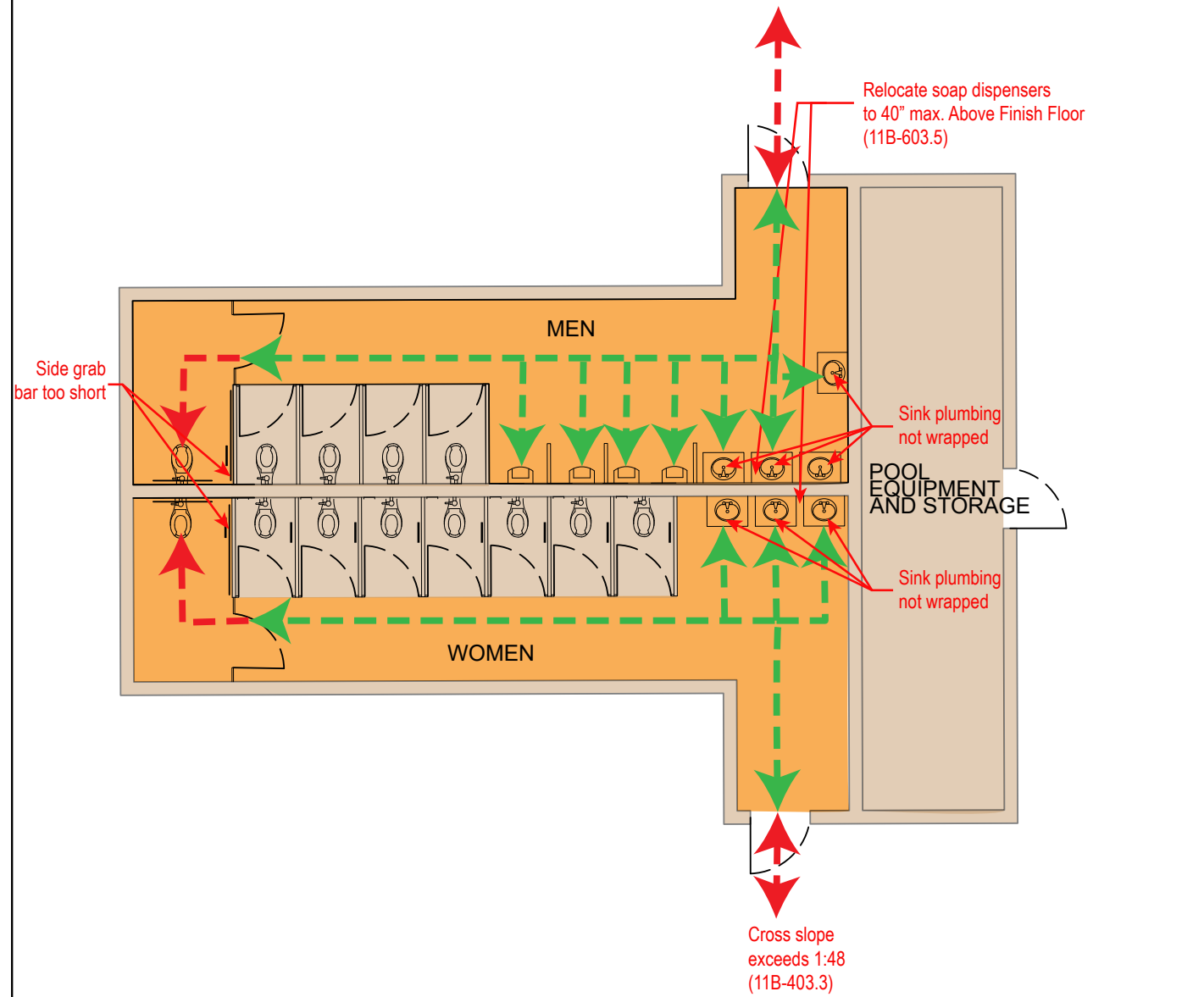
Panoramic view of inside men's restroom. Notable difference from previous restroom: no divider present between urinal and sink.



Non-accessible walks leading to restroom.



# LAGOON RESTROOM FLOOR PLAN



**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom
	Deficient Path of Travel		Building Entrance		
	Deficiency				

NORTH  
NOT TO SCALE

## 3.5 LAGOON RESTROOM

This building appears to have taken accessibility into account.

*Notable Access Barriers:*

**General**

- Perimeter walkway has excessive slope
- Sink plumbing not wrapped
- Soap dispensers too high
- Back grab bar too short



Exterior view of restroom from lagoon.



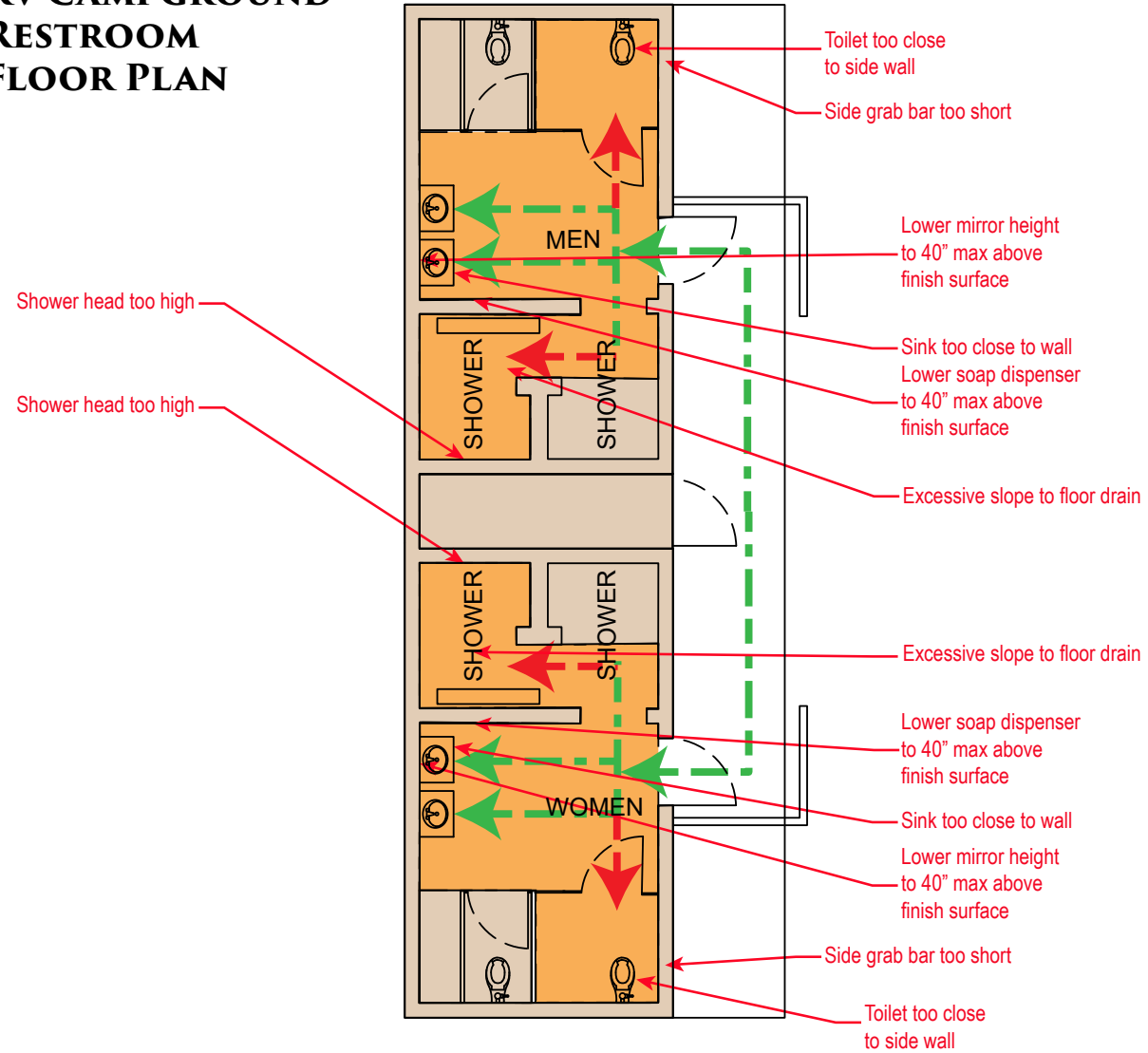
Panoramic view of women's room interior.



Panoramic view of men's room interior.



**RV CAMPGROUND  
RESTROOM  
FLOOR PLAN**



**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom
	Deficient Path of Travel		Building Entrance		
	Deficiency				

NORTH  
 NOT TO SCALE

**3.6 RV CAMPGROUND RESTROOM**

This restroom/ shower facility is generally not compliant and should be replaced when feasible.

*Notable Access Barriers:*

**General**

- Perimeter walkway does not provide accessible connection to adjacent amenities
- Toilet too close to side wall
- Side grab bar too short
- Mirror too high over sink
- Sink too close to wall
- Soap dispenser too high
- Shower head too high
- Excessive slope to floor drain



*Interior view.*



*Exterior view.*





## SUMMARY OF CORRECTIVE ITEMS:

### LAKE CAHUILLA RECREATION AREA

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (4 total)	\$1,000	Immediate	
<b>1.0 PARKING</b>				
1.1.1	Provide (1) Designated Van Accessible Parking Space and Loading zone in Parking lot south of lagoon; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2021	
1.3.1	Provide "NO PARKING" in 12" characters at access aisles (multiple locations)	\$1,000	December 2018	
1.3.2	Provide "MINIMUM FINE \$250" / Replace signs with Caltrans R99 sign (Typ. of 11 locations)	\$1,500	December 2018	
1.3.3	Grind/overlay accessible parking; assume 1,000 SF	\$3,500	June 2021	
1.3.4	Restripe parking access aisle to full van width	\$250	June 2021	
1.3.5	Provide accessible walks between designated accessible parking and park circulation walks (coordinate with 2.3.1)	\$10,000	June 2021	
<b>2.1 EQUESTRIAN CAMPGROUND</b>				
2.1.1	Renovate (2) campsites near restroom to provide access within campsite and to restroom	\$25,000	June 2023	
2.1.1 interim	Provide Accessible Portable Restroom and hand washing station near two campsites until funding allows for major renovation efforts	\$2,000	Immediate	
2.1.2	Extend accessible route mentioned in 2.1.1 to the group picnic shelter (assume 500 SF)	\$3,500	June 2023	
2.1.3	Provide accessible picnic tables (2) at group shelter	\$3,000	June 2023	
2.1.4	Provide wheelchair access to barbecue side approach	\$500	June 2023	
<b>2.2 RV CAMPGROUND</b>				
2.2.1	Renovate existing designated accessible campsite plus one additional campsite with accessible features and connection to sanitary facilities	\$20,000	June 2020	
2.2.1 interim	Provide Accessible Portable Restroom and hand washing station near two campsites until funding allows for major renovation efforts	\$2,000	Immediate	
2.2.2	Extend accessible walkway to WiFi Hut; renovate WiFi Hut for compliant seating/ wheelchair space	\$15,000	June 2020	
2.2.3	Replace accessible picnic table at campsite(included in 2.2.1)	\$0	June 2020	
<b>2.3 PLAYGROUND AND OPEN SPACE</b>				
2.3.1	Remove/ replace existing non-compliant walks; realign to keep slopes under maximum allowable gradients; will require irrigation/ planting retrofit	\$250,000	June 2025	
2.3.2	Provide accessible amenities for walks covered in 2.3.1	\$5,000	June 2025	
2.3.3	Provide high-low drinking fountains (allow 2) with allowance for 100 LF water line	\$9,000	June 2025	
2.3.4	Provide contrasting stripe at transfer steps	\$150	Immediate	
2.3.5	Repair playground surfacing where gaps are present adjacent to curbing	\$2,500	June 2018	

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>2.4 PICNIC SHELTERS</b>				
2.4.1	Provide accessible picnic table at each group shelter and at walkway-adjacent individual table locations (est. 8 tables)	\$12,000	June 2020	
2.4.2	Provide accessible walks to connect with parking (coordinate w/ 2.3.1)	\$12,000	June 2020	
<b>2.5 LAGOON</b>				
2.5.1	Retrofit lagoon to provide an accessible zone within larger non-compliant area	\$250,000	June 2025	
2.5.1 interim	Options to be discussed	\$0	June 2018	
2.5.2	Verify pool lift is in proper water depth when pool is full	\$100	Immediate	
2.5.3	Retrofit showers to allow activation control within reach range (typ. of 2)	\$2,500	June 2018	
2.5.4	Provide accessible picnic tables at various sheltered locations within lagoon area(est. 4 tables)	\$6,000	June 2018	
2.5.5	Fix drainage along south edge of the enclosed lagoon area as to eliminate standing water within the pedestrian circulation area	\$25,000	December 2018	
2.5.6	Renovate walkways connecting to lagoon (coordinate with 2.3.1)	\$0	June 2025	
<b>2.6 FISHING AREAS</b>				
2.6.1	Designate at least one shelter as accessible; provide accessible amenities, signage, etc.	\$15,000	June 2023	
2.6.2	Provide new van accessible parking space and access aisle near designated accessible shelter	\$5,000	June 2023	
2.6.3	Provide accessible connection to accessible sanitary facilities	\$25,000	June 2023	
2.6.3 interim	Provide Accessible Portable Restroom and hand washing station near designated accessible shelter until funding allows for major renovation efforts	\$1,000	Immediate	
2.6.4	Reconstruct fishing shelters to provide overhead clearance	\$10,000	June 2023	
2.6.5	Provide accessible picnic table at each shelter (6)	\$9,000	June 2023	
<b>3.2 EQUESTRIAN RESTROOM</b>				
3.2	Various minor repairs - see report	\$10,000	June 2023	
<b>3.3 DAY USE RESTROOM #1</b>				
3.3	Various minor repairs - see report	\$5,000	June 2019	
<b>3.4 DAY USE RESTROOM #2</b>				
3.4	Various minor repairs - see report	\$5,000	June 2019	
<b>3.5 LAGOON RESTROOM</b>				
3.5	Various minor repairs - see report	\$5,000	June 2019	
<b>3.6 RV CAMPGROUND RESTROOM</b>				
3.6	Provide adjacent accessible prefabricated restroom/ shower facility with signage at existing building redirecting disabled users to the accessible building (anticipate 400 SF pre-fab building)	\$250,000	June 2021	
3.6.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom building or accessible campsite (coordinate with 2.2.1 interim)	\$0	Immediate	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$1,005,000		





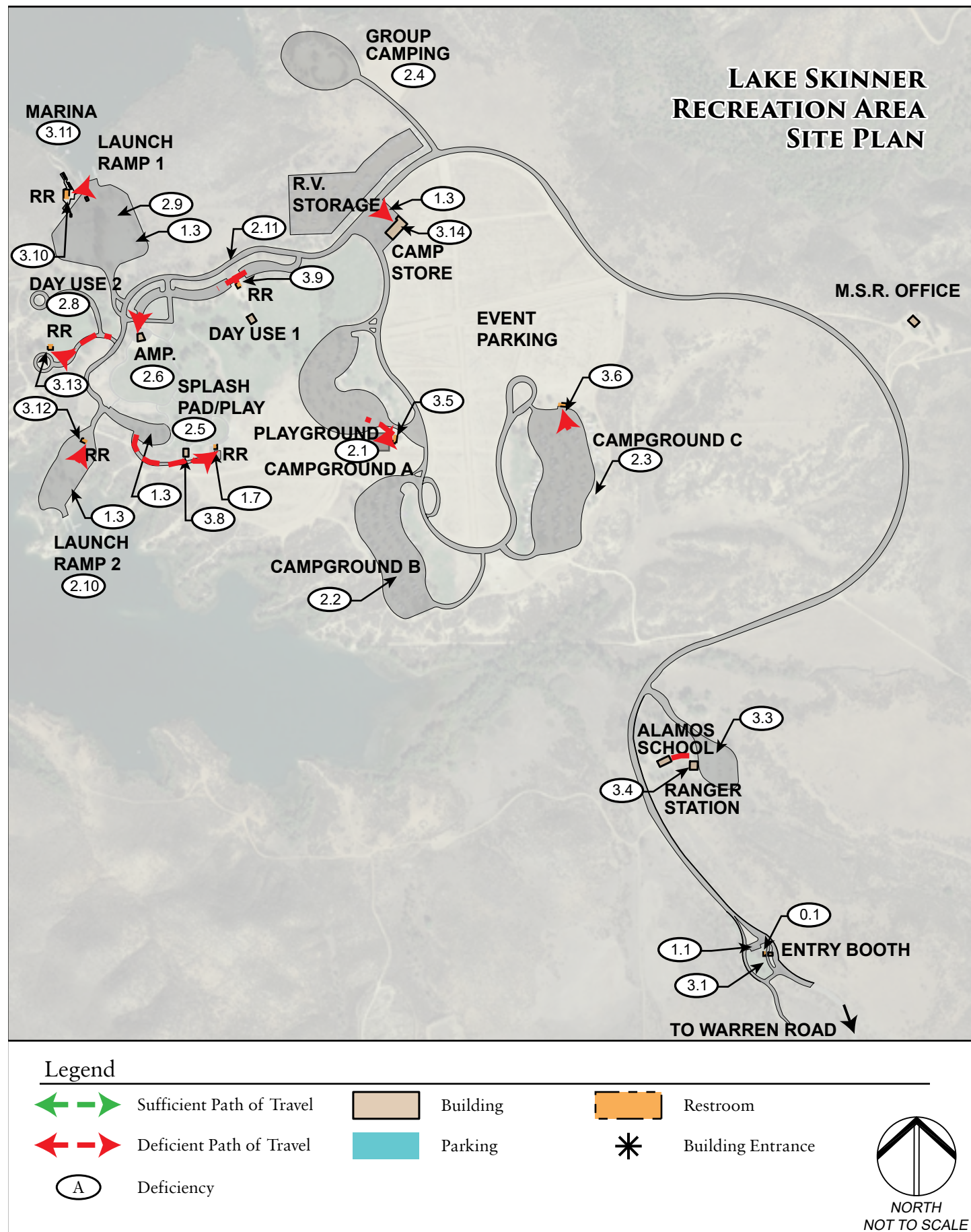
ACCESSIBILITY COMPLIANCE REPORT FOR:  
**LAKE SKINNER RECREATION AREA**

37701 Warren Road  
Winchester, CA 92596

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## INTRODUCTION

Lake Skinner Recreation Area is located near Winchester, northeast of Temecula. The park site consists of RV and primitive/ equestrian campgrounds, boat launches, fishing, splash pad, amphitheater, day use areas and trails. Due to the remote location and distance from Warren Road, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Lake Skinner was performed on Tuesday, February 13, 2018, with a start time of approximately 8:30 am. Scott Rice, CASp-709 toured the facility with Robyn Jensen, Park Ranger, with Vicki Armentrout, Park Ranger Supervisor, joining the latter portions of the site visit.



*Pictured: Guard-controlled entry drive into Lake Skinner. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Warren Road. Nowhere along this entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on either side of rural Warren Road, nor is a walkway provided into the site from the Warren Road entry. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is RTA. No existing routes travel past the entrance to the park site. The closest RTA route to the site is Route 79. The closest bus stop is located at Southwest Detention Center on Auld Road, approximately 6 miles from the main entrance to Lake Skinner.

*ACTION: No action required by ADA nor CBC at the time of this report.*



# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Lake Skinner Recreation Area includes a total of 743 marked off-street parking spaces, divided amongst nine paved parking lots at various locations throughout the park site, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Near Guard House	7	7	0	0	0	1	0	1	No
Alamos Schoolhouse/ Whittier House	(see separate chapter within this report)								
Near Campground A/B Restroom	(Unpaved/ Non-marked parking)								
Near Campground C Restroom	6	6	0	0	0	1	0	1	No
Near Splash Pad	90	85	0	0	5	4	3	1	Yes
Near Launch Ramp #1	327	324	0	0	3	8	0	2	No
Near Launch Ramp #2	94	89	0	0	5	4	0	1	No
North of Day Use #1	142	142	0	0	0	5	0	1	No
Near Amphitheater	39	39	0	0	0	2	0	1	No
South side, Day Use #2	(Unpaved/ Non-marked parking)								
North side, Day Use #2	(Unpaved/ Non-marked parking)								
Camp Store	38	36	0	0	2	2	0	1	No
Primitive Group Camp	(Unpaved/ Non-marked parking)								
Balloon Festival Dirt Lot	(Unpaved/ Non-marked parking)								
<b>TOTAL</b>	<b>743</b>	<b>728</b>	<b>0</b>	<b>0</b>	<b>15</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Provide one new Designated Van-Accessible Parking Space (DAPS) near the Guard House, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.2: Provide one new Designated Van-Accessible Parking Space (DAPS) near the Campground C Restroom, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.3: Provide two new Designated Van-Accessible Parking Space, three additional new Standard Accessible Parking Spaces, and renovate all three existing DAPS located near Launch Ramp #1 in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.4: Provide one new Designated Van-Accessible Parking Space, and renovate all five existing DAPS located near Launch Ramp #2 in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.5: Provide one new Designated Van-Accessible Parking Space and four additional new Standard Accessible Parking Spaces within the parking lot north of Day Use #1 in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.6: Provide two new Designated Van-Accessible Parking Spaces (DAPS) near the Amphitheater, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.7: Renovate one existing DAPS located near the Camp Store to be designated Van Accessible in compliance with CBC 11B-502.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at each of the observed parking lots at Lake Skinner currently allow for accessible parking to be located in close proximity to the building and/or key amenity they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

All Designated Accessible Parking Spaces inspected generally met or exceeded the dimensions of 9' wide x 18' length, with the exception of at least one space located near the Splash Zone. Most newer parking signage appeared to be mounted at proper heights (80" clear when signage is placed within the accessible path/ 60" min. above finish floor to the bottom of the sign outside accessible paths). Loading zone diagonal striping was consistently observed at 3' on-center spacing. "NO PARKING" was NOT observed in 12" tall white painted letters at most of the newer loading areas. International Symbol of Accessibility was provided at each Designated Accessible Parking Space. Most Designated Accessible Parking Spaces and adjacent access aisles were mostly found to be compliant in slope (1:48 maximum). Detectable warning (truncated domes) were provided in Federal Yellow color, with proper contrasting surface resiliency, between accessible walkways and adjacent parking/ vehicular areas, where these walkways had a zero-curb condition (walkway and parking meeting



*There is no Designated Accessible Parking Space within the parking lot near the Guard House.*



*There is no Designated Accessible Parking Space within the parking lot near the Campground C Restroom.*



*Example of excessive slope observed within the passenger loading zone near the Splash Pad;*





flush in elevation to one another). A few action items are noted :

*ACTION ITEM 1.3.1: Portions of the Designated Accessible Parking Spaces located nearest to the Splash Pad entry exceeded the maximum 1:48 slope. Grind and overlay asphalt paving to eliminate areas exceeding 1:48, as per CBC 11B-502.4, Exception #1*

*ACTION ITEM 1.3.2: Asphalt within the loading zone of another DAPS near the Splash Pad entrance exceeded 1:48 slope. Rework asphalt and/or curb to comply with the full requirements of CBC 11B-502.*

*ACTION ITEM 1.3.3: Provide loading zones compliant with CBC 11B-502.3.3 at designated accessible parking spaces near the boat launch areas.*

*ACTION ITEM 1.3.4: Provide "Minimum Fine: \$250" signage at ALL parking spaces as defined by CBC 11B-502.6.2; Recommendation is to replace all signage with the Caltrans R99 signage shown in the beginning of this report. Signage shall maintain 60" min. clearance where signs are located outside accessible routes, and 80" min. clear where located within accessible routes, as per CBC 11B-502.6.*

*ACTION ITEM 1.3.5: Provide curb ramps complying with CBC 11B-406.5.3 at Camp Store parking and Boat Launch #1, where existing curb ramps are non compliant or not present.*



Signage, striping and detectable warnings were observed to be generally compliant within the most recently developed portions of the park.



Asphalt near the zero-curb/ detectable warning area is built up, causing slope to exceed the 1:48 maximum within the loading zone of this parking space near the Splash Pad.



Provide access aisle at van width, and an accessible connection between designated accessible parking spaces and the amenities they are intended to serve.



Provide an access aisle/ loading zone adjacent to Designated Accessible parking at Boat Launch areas.

## 1.4 SPECIAL EVENT PARKING

Lake Skinner Recreation Area annually hosts large special events, including the Temecula Valley Balloon & Wine Festival. During these events, the programming of the entire park site is modified, and large dirt lots are parked with thousands of vehicles. We recommend revisiting Lake Skinner during such a large event to analyze how accessibility is accommodated, as such a large influx of vehicles would statistically overburden all available Designated Accessible Parking Spaces throughout the park site.



Screen shot from a YouTube video, showing overflow parking for the 2015 Temecula Valley Balloon & Wine Festival. Source: <https://www.youtube.com/watch?v=emn7KFy2vfA>



## 2.0 SITE CIRCULATION AND AMENITIES

Lake Skinner Recreation Area provides 199 full hookup RV campsites, as well as 18 sites with water and electric, and 40 sites that are water only. There are three designated RV campgrounds, named with letters A, B and C. Each of the three campgrounds each has one designated accessible campsite. Campground A and C have restroom/ shower facilities, and Campground A has a playground area. California Building Code 11B-246.2 states that where camping facilities are provided, that at least two campsites and one additional campsite for each 100 campsites or fraction thereof, shall be accessed by and connected to sanitary facilities by travel routes with a maximum slope of 1:12.

### 2.1 CAMPGROUND A

The Designated Accessible Campsite in Campground A is located fairly close to the restroom/showers, but does not currently have an accessible path between the two points.

*ACTION ITEM 2.1.1: Renovate Designated Accessible Campsite and one additional campsite in a location near restroom/ shower facilities to meet the full requirements of CBC 11B-246.2.*

*ACTION ITEM 2.1.2: Provide an accessible route between designated accessible campsites and the closest adjacent sanitary facilities, as required by CBC-246.2.*

*ACTION ITEM 2.1.3: Remove “Parking Only” signage and replace with an International Symbol of Accessibility sign, reflecting that the Designated Accessible Campsite as a whole is reserved for campers with disabilities.*

*ACTION ITEM 2.1.4: Replace the picnic table within the Designated Accessible Campsite to meet full compliance with the requirements of CBC 11B-902.*

*ACTION ITEM 2.1.5: Provide an accessible route between playground and nearest designated accessible parking. This will likely connect to the Restroom building.*

*ACTION ITEM 2.1.6: Provide contrasting stripe at each transfer step on the playground, as per CBC 11B-1008.3.2.4*

*ACTION ITEM 2.1.7: Remove sand from rubber play surfacing to keep rubber surface slip resistant.*



Existing Designated Accessible Campsite in Campground A.



Existing Playground near Campground A.

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## 2.2 CAMPGROUND B

The Designated Accessible Campsite in Campground B is located a considerable distance from the restroom/showers (see Campground A for facilities shared between Campgrounds A and B), and does not currently have an accessible path between the two points.

*ACTION ITEM 2.2.1: Renovate Designated Accessible Campsite to meet the full requirements of CBC 11B-246.2.*

*ACTION ITEM 2.2.2: Provide an accessible route between designated accessible campsites and the closest adjacent sanitary facilities at Campground A, as required by CBC-246.2.*

*ACTION ITEM 2.2.3: Remove "Parking Only" signage and replace with an International Symbol of Accessibility sign, reflecting that the Designated Accessible Campsite as a whole is reserved for campers with disabilities.*

*ACTION ITEM 2.2.4: Replace the picnic table within the Designated Accessible Campsite to meet full compliance with the requirements of CBC 11B-902.*



Designated Accessible Campsite within Campground B (249).

## 2.3 CAMPGROUND C

The Designated Accessible Campsite in Campground C is located across a vehicle drive from the restroom/showers and does not currently have an accessible path between the two points.

*ACTION ITEM 2.3.1: Renovate Designated Accessible Campsite to meet the full requirements of CBC 11B-246.2.*

*ACTION ITEM 2.3.2: Provide an accessible route between designated accessible campsites and the closest adjacent sanitary facilities at Campground C, as required by CBC-246.2.*

*ACTION ITEM 2.3.3: Remove "Parking Only" signage and replace with an International Symbol of Accessibility sign, reflecting that the Designated Accessible Campsite as a whole is reserved for campers with disabilities.*

*ACTION ITEM 2.3.4: Replace the picnic table within the Designated Accessible Campsite to meet full compliance with the requirements of CBC 11B-902.*



Designated Accessible Campsite within Campground C (356).

## 2.4 PRIMITIVE CAMPGROUND

The Primitive Group Campground at Lake Skinner contains a large picnic shelter with adjacent barbecues. Portable toilets are provided, including one wheelchair accessible model.



*ACTION ITEM 2.4.1: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.4.2: Provide wheelchair access for side approach at the barbecue, within the reach range requirements of CBC 11B-308.3*

*ACTION ITEM 2.4.3: Renovate concrete slab to eliminate changes in level, wide cracks, etc., in full compliance with CBC 11B-302.*

*ACTION ITEM 2.4.4: Relocate wheelchair-accessible portable toilet to a location where an accessible path can be provided to connect to camping amenities, such as the picnic shelter.*

## 2.5 SPLASH PAD/ PLAYGROUND

The Splash Zone and associated playground areas appear to be among the most recent additions to Lake Skinner. Many of the components are compliant with current accessibility requirements. However, some action items are noted on the following page:





*ACTION ITEM 2.5.1: Provide contrasting stripe at each transfer step on the playground, as per CBC 11B-1008.3.2.4.*

*ACTION ITEM 2.5.2: Provide edge protection where playground surfacing transitions to steep downward slopes adjacent to level areas. Provide signage to warn visitors of steep slopes.*

*ACTION ITEM 2.5.3: Provide a realigned circulation walkway to connect the Designated Accessible Parking Spaces with all provided amenities, where slope exceeds 1:48 at wheelchair turning zones.*



*Play surface transitions to a steep incline with no provision for edge protection, to prevent wheelchairs from accidentally overtaking the top of slope.*



*Another view of non-compliant sloped walkway. Also, some joints appear to exceed gap tolerances, but gaps are currently being filled with lawn.*



*Another portion of play surfacing located parallel to an access ramp far exceeds allowable ramp slope.*



*Portions of the pedestrian route exceed 1:20 without the presence of handrails nor landings. Adjacent path intersections also exceed maximum slope for wheelchair turning.*



*Replace benches with models providing back support, adjacent wheelchair companion seating, and mounted on a level surface so that the entire bench falls within the acceptable height range.*

## 2.6 AMPHITHEATER & SHELTER

The amphitheater area also appears to be fairly new construction. The amphitheater stage itself appears to be mostly compliant with current accessibility codes. However, a few action items are noted:

*ACTION ITEM 2.6.1: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.6.2: Provide edge protection where walkway falls off toward adjacent planter.*



*Edge protection is needed at walkway leading up to amphitheater picnic shelter.*



*Where sloped walkway meets adjacent path, the turning space is somewhat ambiguous and potentially exceeds maximum allowable cross slope for wheelchair turning space.*



*Stairs at amphitheater picnic shelter are absent of handrails.*

## 2.7 DAY USE #1

There is a large group picnic shelter at Day Use #1. See action items below:

*ACTION ITEM 2.7.1: Provide an accessible connection to Shelter #2 from the closest designated accessible parking spaces and other park amenities, in compliance with CBC 11B-206 and 11B-246.5.*

*ACTION ITEM 2.7.2: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*



*Large group picnic shelter with no accessible path leading to it.*

(continued next page)



## 2.7 DAY USE #1 (CONTINUED)

*ACTION ITEM 2.7.3: Provide wheelchair access for side approach at the barbecue, within the reach range requirements of CBC 11B-308.3*

## 2.8 DAY USE #2

Day Use Area #2 provides a restroom building and a group picnic shelter, but no improved parking nor any Designated Accessible Parking Spaces. All action items listed in Day Use #1 also similarly apply to Day Use #2.

*ACTION ITEM 2.8: See all Action Items from 2.7 above.*



*Group picnic shelter at Day Use Area #2 with no accessible path leading to it.*

## 2.9 BOAT LAUNCH #1

Boat Launch #1 was generally constructed on a steeply sloping site. There are many amenities that would either require an extensive series of ramps to reach with an accessible pedestrian route, or major regrading activities. This includes a restroom building, several covered picnic tables, a fish washing station, and a non-accessible marina, as well as the boat launch itself. Some of the amenities are shown below, and on the following page:



*This portion of the park contains extreme elevation changes, making the accommodation of accessible features very difficult.*



*The entire area contains excessive running and cross slopes.*

## 2.9 BOAT LAUNCH #1 (CONTINUED)

Additional photos identifying general non-compliance to accessibility:



*The only way to currently access the marina building is by stairs.*



*More examples of non-accessible features at or near Boat Launch #1.*



*Major topographic hurdles stand in the way of accessibility improvements.*



*This fish cleaning station cannot be made accessible until the parking lot in which it is placed receives major renovations, likely including terracing.*

*ACTION ITEM 2.9.1: Develop a long term plan to completely renovate this area to remove major access barriers. Provide interim signage indicating that this area is generally not accessible.*



## 2.10 BOAT LAUNCH #2

Similar to Boat Launch Area #1, Boat Launch #2 has major topographic challenges that hinder accessibility efforts. See photo examples below:



The walkway leading to the boat launch is in excess of allowable ramp steepness.



Many shelters have beams as low as 63" above finish grade, and would need to be removed and replaced to eliminate vertical clearance issues.



Walk surfaces include major vertical "steps" requiring removal and replacement.



This non-compliant curb ramp leads wheelchair users directly to and from a hazardous vehicle zone.

*ACTION ITEM 2.10.1: Develop a long term plan to completely renovate this area to remove major access barriers. Provide interim signage indicating that this area is generally not accessible.*

## 2.11 TRAILS

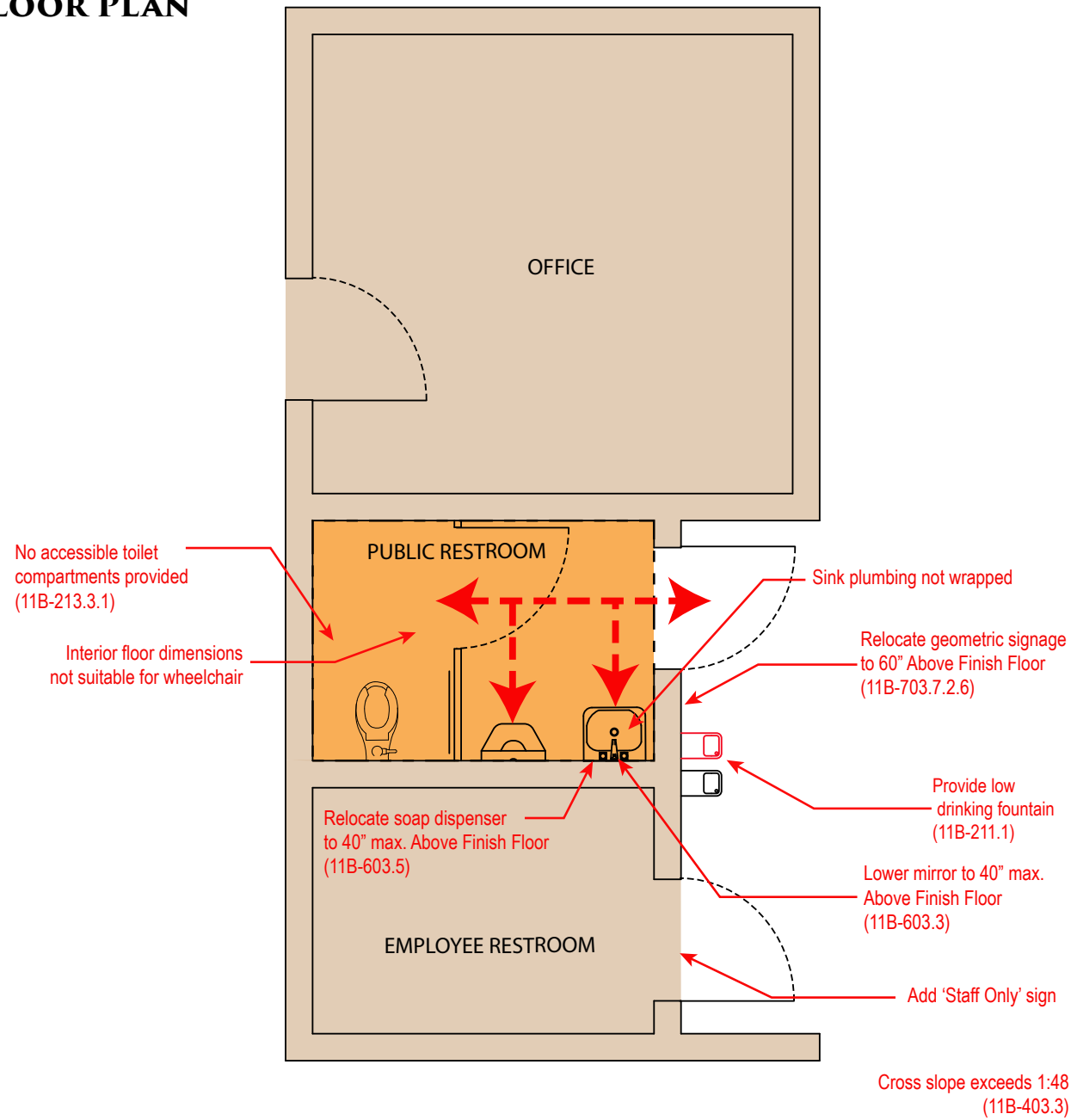


The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7) Currently, Lake Skinner has crossings, like the one pictured above, that indicate accessible trail crossing. However, these crossings do not provide the detectable warnings required at hazardous vehicle areas.

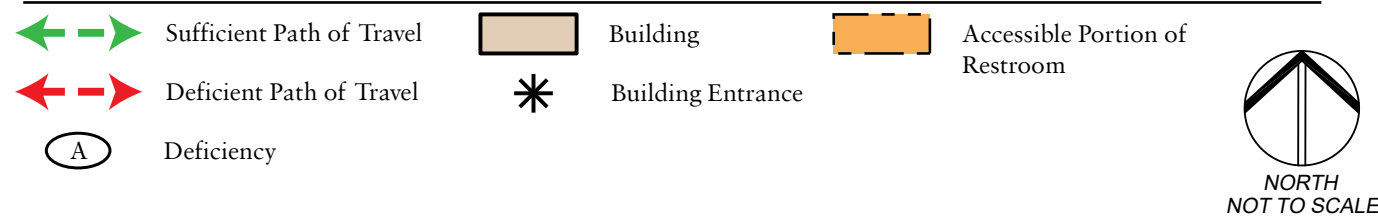
*ACTION ITEM 2.11.1: Provide detectable warnings as per CBC 11B-247.1.2.5, complying with Sections 11B-705.1.1 and 11B-705.1.2.5.*



## PARK ENTRANCE RESTROOM FLOOR PLAN



### Legend



## 3.0 BUILDINGS

Fourteen buildings within Lake Skinner were observed and measured during our site visit.

### 3.1 ENTRY KIOSK

The Entry gate kiosk is not a publicly accessible building. The County employee accommodates park patrons at their vehicle.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 3.2 ENTRY KIOSK RESTROOM

This building was designed without accessible features.

*Notable Access Barriers:*

#### General

- Perimeter walkway has excessive slope, threshold, not connected to parking
- Geometric signage mounted too high
- Sink plumbing not wrapped
- Soap dispenser and mirror too high
- Interior floor dimensions not suitable for wheelchair circulation
- Recommend adding "STAFF ONLY" sign at left room



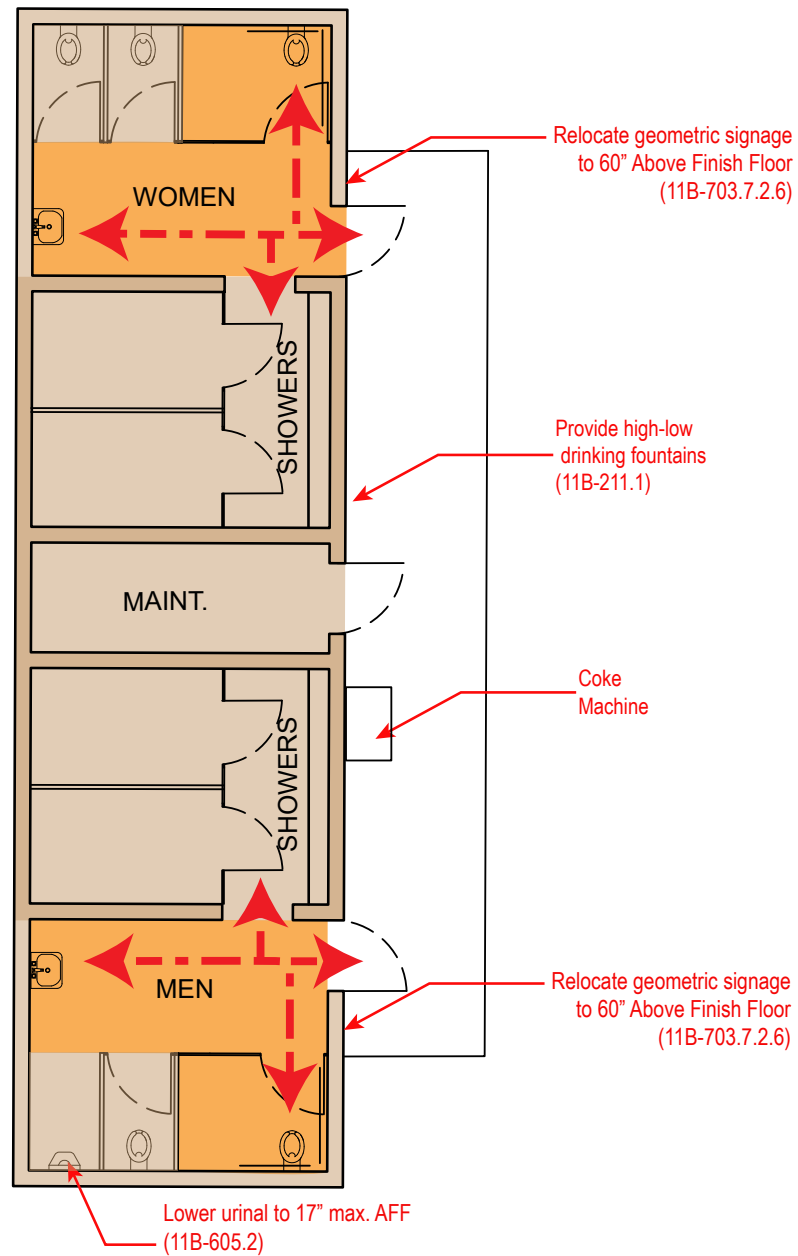
Interior view of restroom.



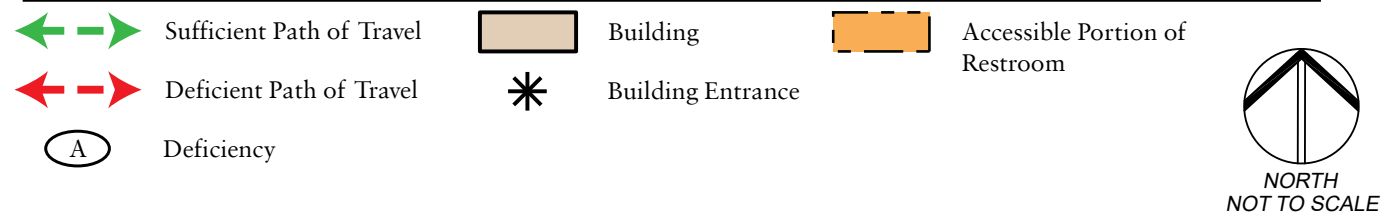
Exterior view of restroom entry.



# CAMPGROUND A RESTROOM



### Legend



### 3.3 ALAMOS SCHOOLHOUSE

See separate "ALAMOS SCHOOLHOUSE" chapter within this report.

### 3.4 WHITTIER HOUSE

Included in separate "ALAMOS SCHOOLHOUSE" chapter within this report.

### 3.5 RV CAMPGROUND A RESTROOM

This building was designed with some accessible features.



Exterior view of restroom.

#### Notable Access Barriers:

##### General

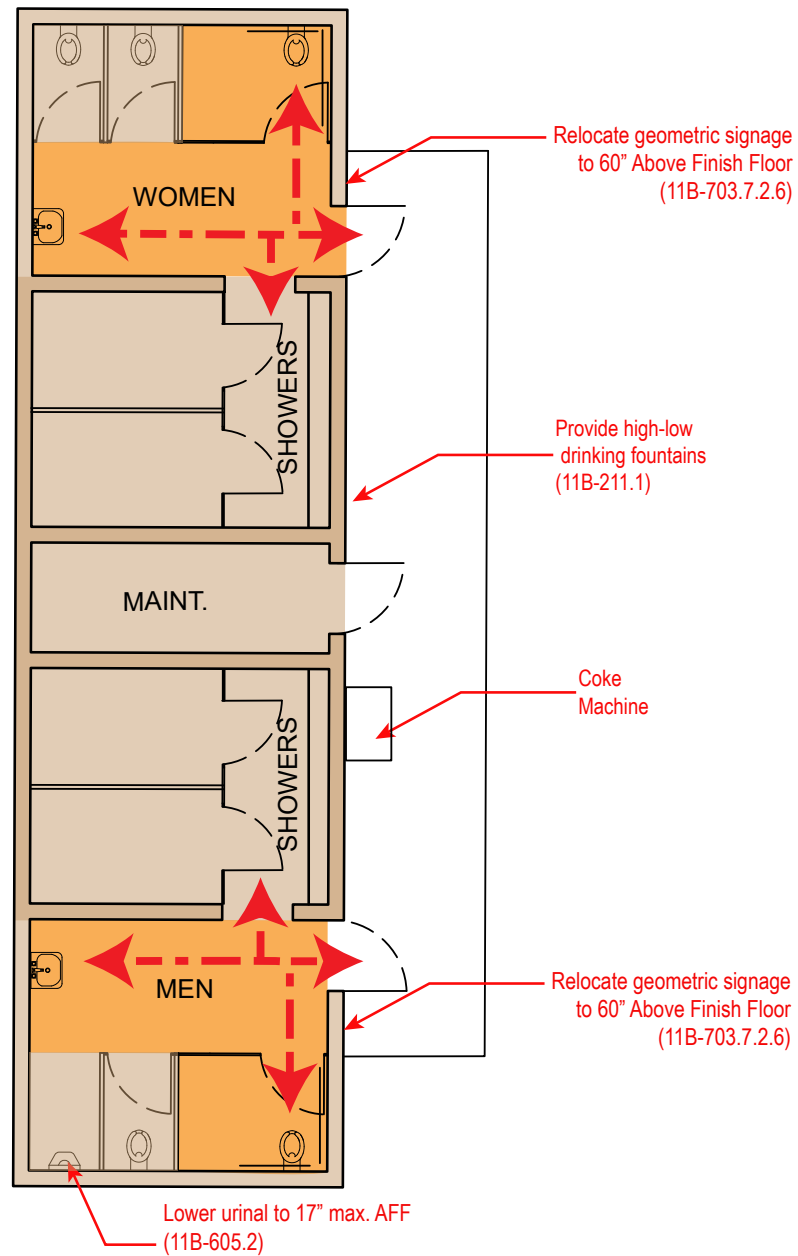
- Side grab bar too short
- Paper towels dispensed too high
- Sink unit does not allow forward wheelchair approach
- Shower seat too high (19" max allowed)
- Shower grab bar should not be mounted above seat
- Excessive slope to floor drains
- Urinal rim too high
- Geometric sign too low
- Drinking Fountain not high-low



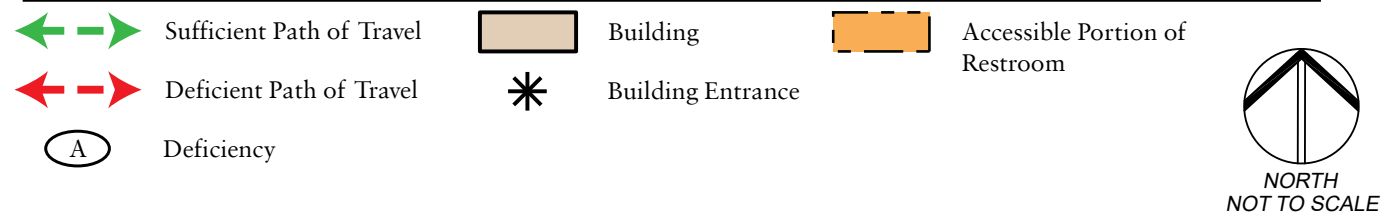
Non-standard, non-accessible sink within restrooms.



# CAMPGROUND C RESTROOM



### Legend



## 3.6 RV CAMPGROUND C RESTROOM

This building was designed with some accessible features.



Notable Access Barriers:

Exterior view of restroom.

### General

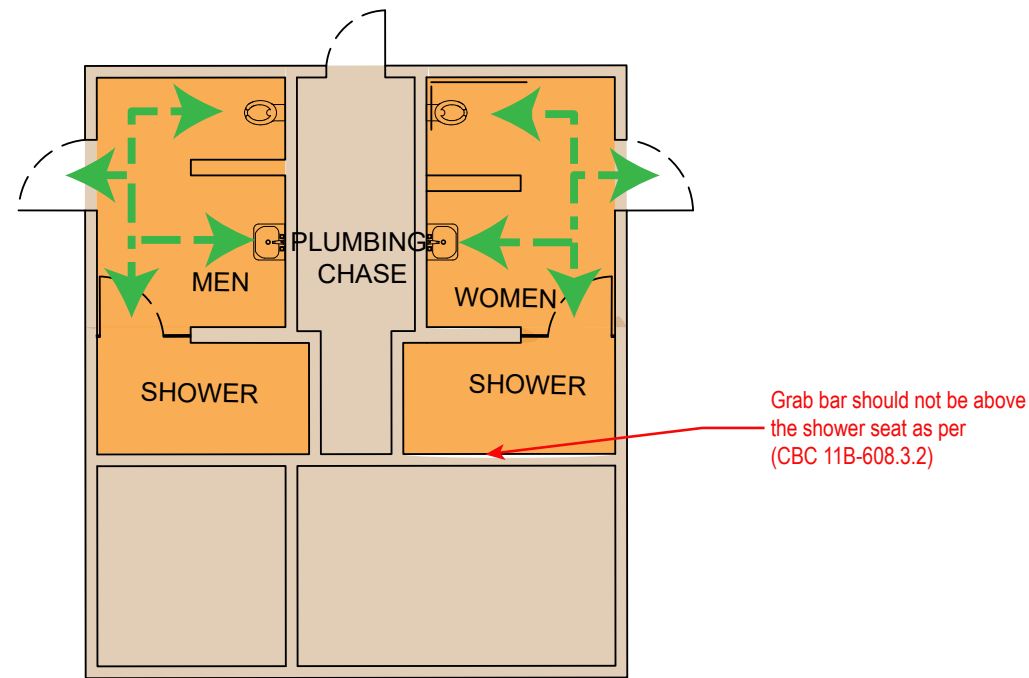
- Toilet paper mounted too far from toilet (16" observed/ 9" max allowed)
- Side grab bar too short
- Paper towels dispensed too high
- Sink unit does not allow forward wheelchair approach
- Shower seat too high (19" max allowed)
- Grab bar mounted above shower seat (not allowed per CBC 11B-608.3.2)
- Bench too narrow (20" min required)
- Excessive slope to floor drains
- Urinal rim too high
- Geometric sign too low
- Drinking Fountain not high-low



Grab bar above improperly mounted shower seat.



**SPLASH PAD  
NEW RESTROOM  
FLOOR PLAN**



**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom
	Deficient Path of Travel		Building Entrance		
	Deficiency				

NORTH  
NOT TO SCALE

**3.7 SPLASH PAD NEW RESTROOM**

This building is a newer pre-fabricated restroom/ shower building, which generally appears compliant with most current accessibility codes. Due to its proximity to the non-compliant

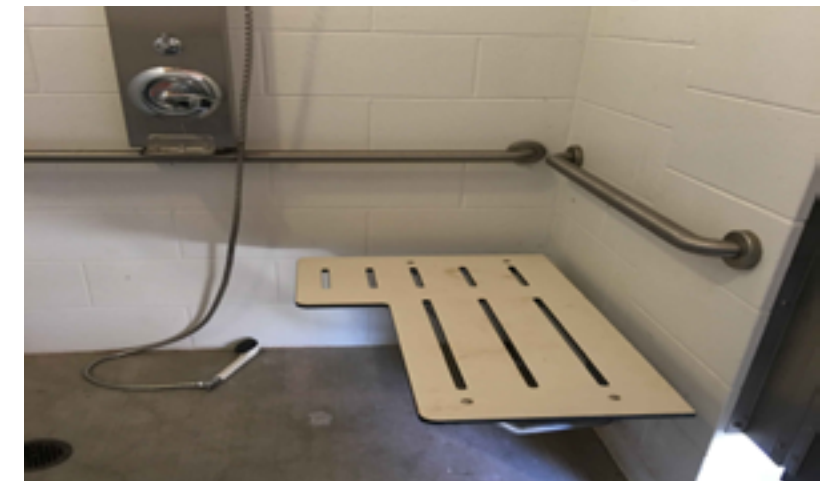
*Notable Access Barriers:*

General

- Grab bar should not be above the shower seat as per CBC 11B-608.3.2



Exterior view of restroom.

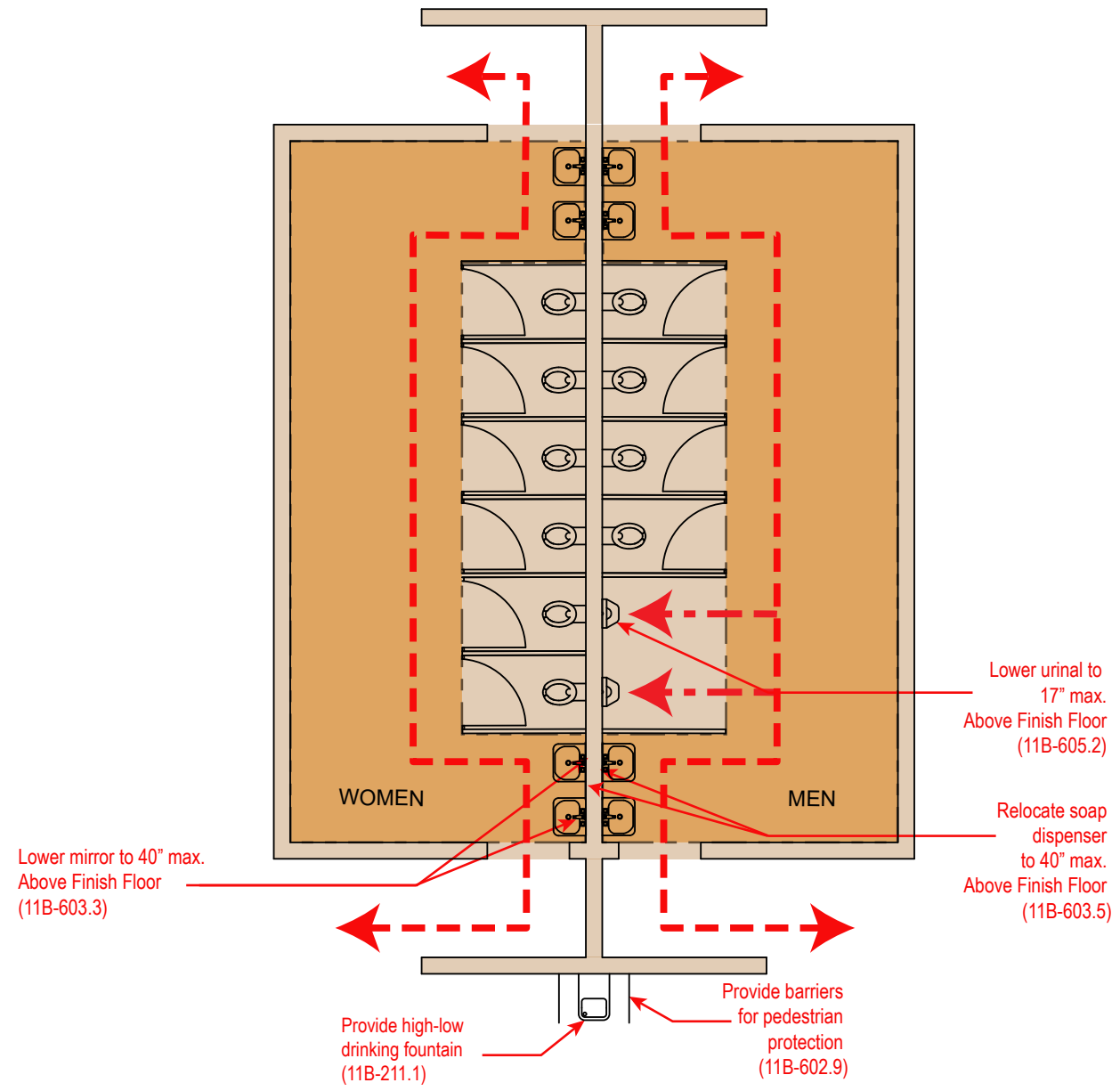


Grab bar should not be mounted above shower seat.



# SPLASH PAD OLD RESTROOM FLOOR PLAN

No accessible toilet compartments provided (11B-213.3.1)



**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

### Legend

	Sufficient Path of Travel		Building		Accessible Portion of Restroom
	Deficient Path of Travel		Building Entrance		
	Deficiency				

NORTH  
NOT TO SCALE

## 3.8 SPLASH PAD OLD RESTROOM

This building is an older site-built building, with many access barriers present.

### Notable Access Barriers:

#### General

- Geometric Signage mounted too high.
- No accessible toilet compartment provided
- Soap dispensers and mirrors mounted too high above sink
- Sink plumbing not wrapped
- Urinal rim too high



Directional signage shall be mounted near all entry points to this restroom, directing park users to the adjacent "New Splash Pad" restroom, where accessible features are located.

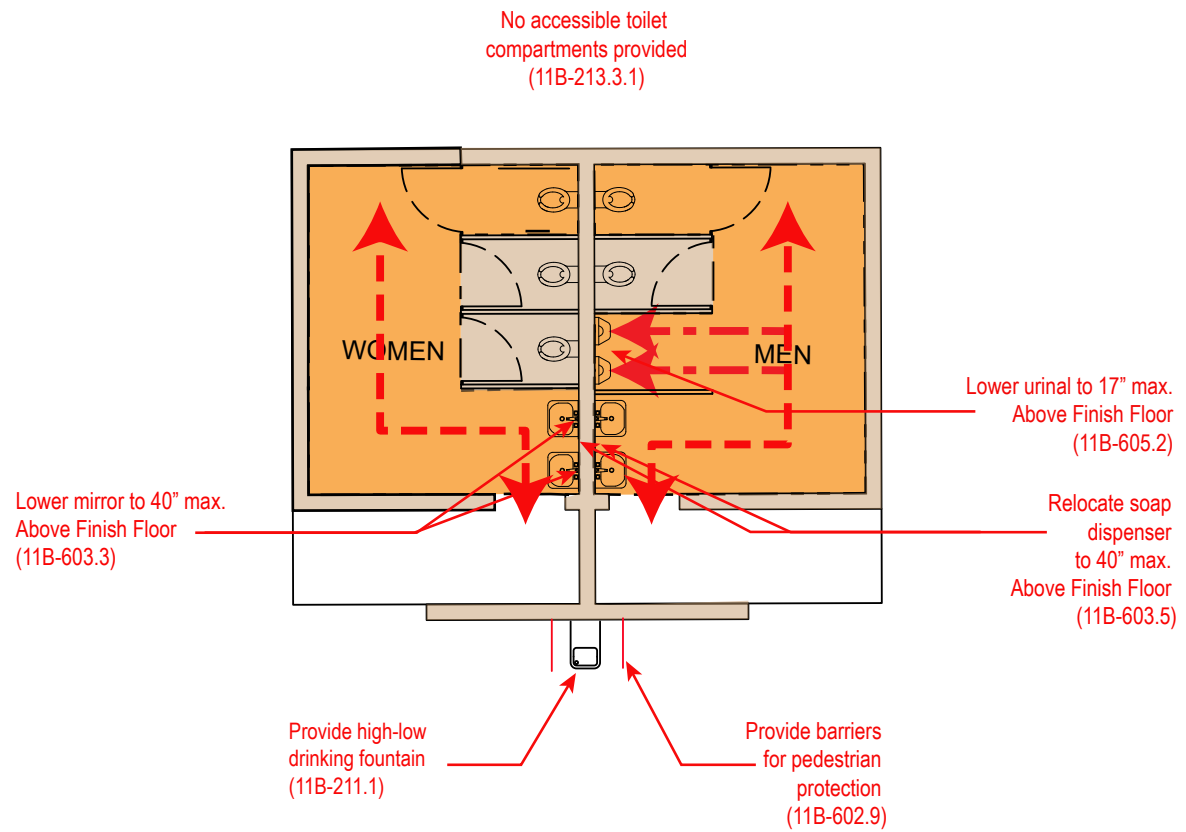


Interior view of building.



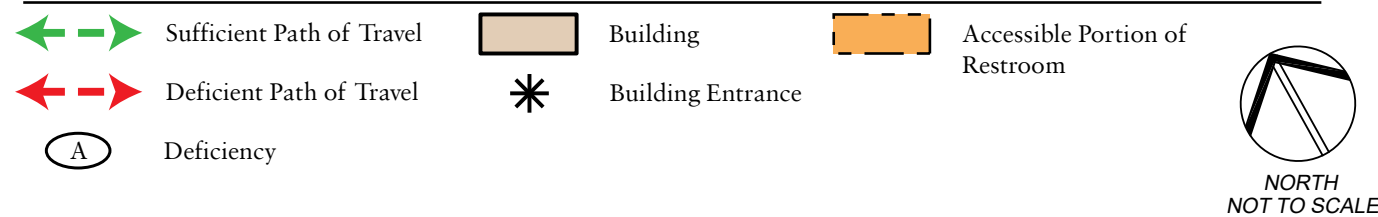


**DAY USE #1  
RESTROOM FLOOR PLAN**



**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

**Legend**



**3.9 DAY USE #1 RESTROOM**

This building is an older site-built building, similar in appearance to the 3.8 building, with many access barriers present.

*Notable Access Barriers:*

General

- No accessible toilet compartment provided
- Excessive slope in restroom floor
- Soap dispensers and mirrors mounted too high above sink
- Sink plumbing not wrapped
- Urinal rim too high
- Urinal/sink partition obstructs forward wheelchair approach
- Exterior drinking fountain not high/low model



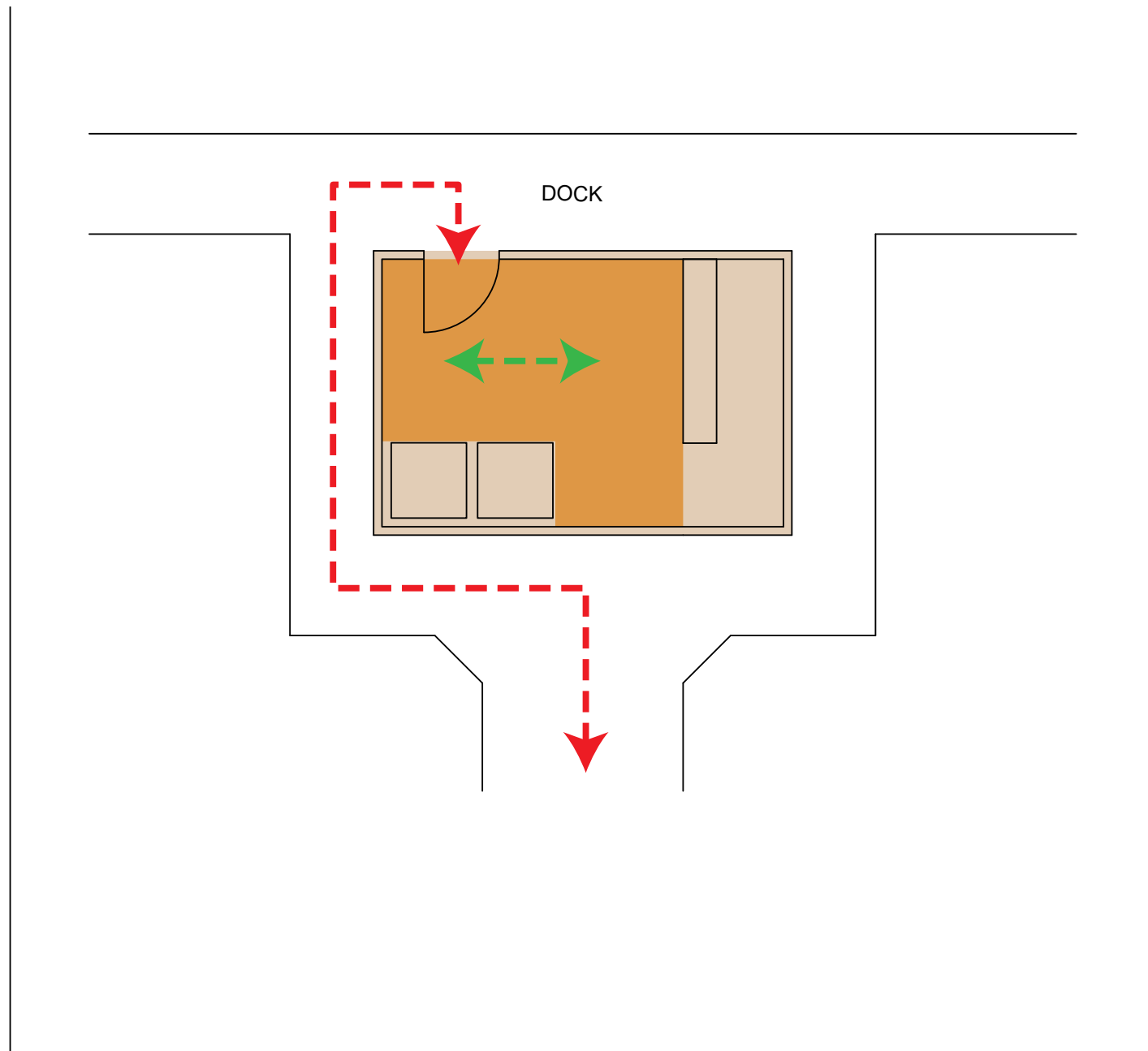
Exterior view of restroom.



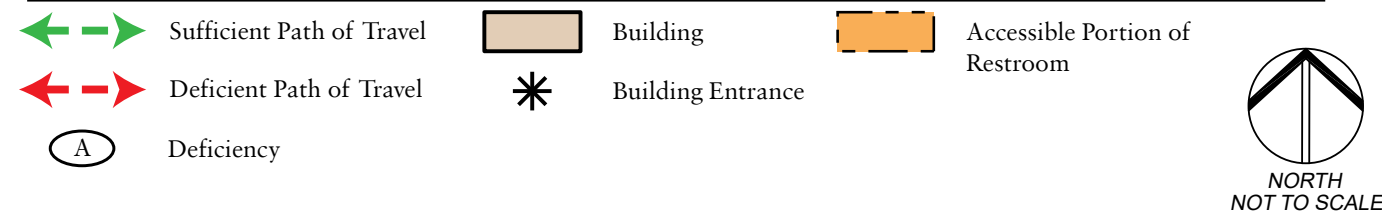
The absence of a splash guard/modesty partition between urinals allows for forward wheelchair approach.



# BOAT LAUNCH #1 RESTROOM FLOOR PLAN



### Legend



## 3.10 BOAT LAUNCH #1 RESTROOM

This building is an older site-built building, also similar in appearance to the 3.8 building, but with accessible toilet stalls provided.

### Notable Access Barriers:

#### General

- Geometric signage mounted too high
- Sink plumbing not wrapped
- Entry walkway slope too steep
- Drinking fountain not high/low

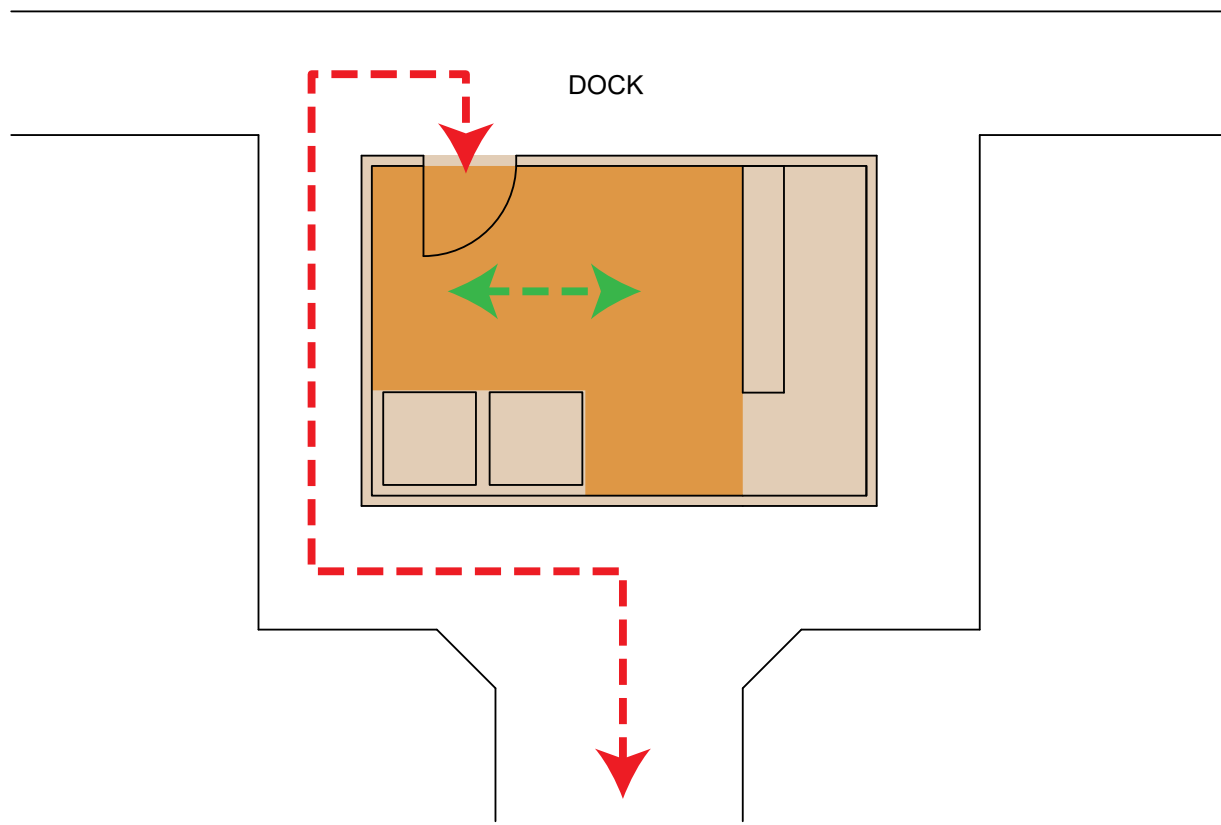


Exterior view of restroom.



Geometric signage mounted too high.

# MARINA FLOOR PLAN



### Legend

- ← → Sufficient Path of Travel
- ← → Deficient Path of Travel
- A Deficiency
- Building
- ✱ Building Entrance
- Accessible Portion of Restroom
- NORTH  
NOT TO SCALE

## 3.11 MARINA BUILDING

The Marina Building is completely inaccessible by wheelchair.

### Notable Access Barriers:

#### General

- No ramp to dock level (stairs only)
- Dock has large gaps, far exceeding 1/2"
- Dock has uneven surfaces



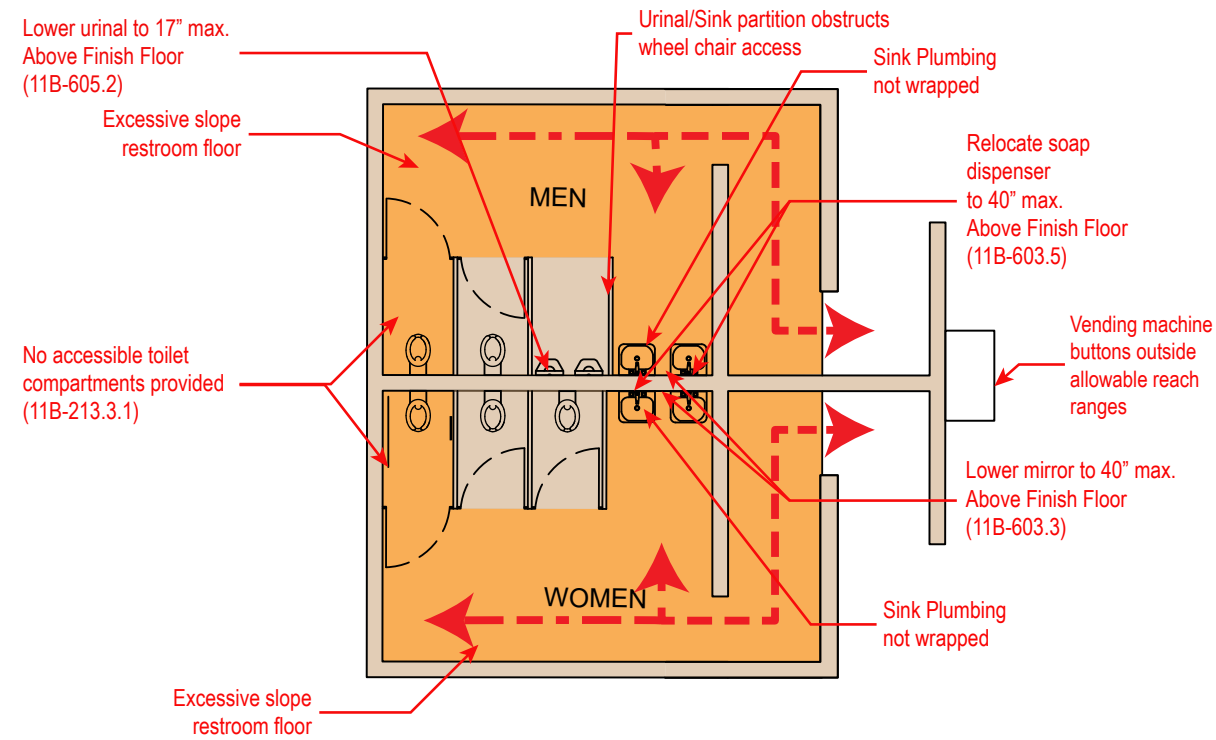
Marina and associated docks are completely wheelchair inaccessible.



Interim safety markings.

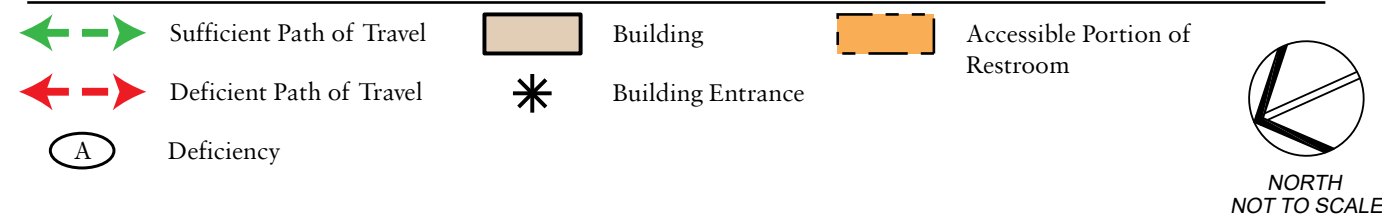


## BOAT LAUNCH #2 RESTROOM FLOOR PLAN



**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

### Legend



### 3.12 BOAT LAUNCH #2 RESTROOM

This building is an older site-built building, also similar in appearance to the 3.8 building, but with accessible toilet stalls provided.

#### Notable Access Barriers:

#### General

- Geometric signage mounted too high
- Sink plumbing not wrapped
- Side grab bar too short
- Entry walkway slope too steep
- Vending machine buttons outside allowable reach ranges
- Recycling receptacles not accessible

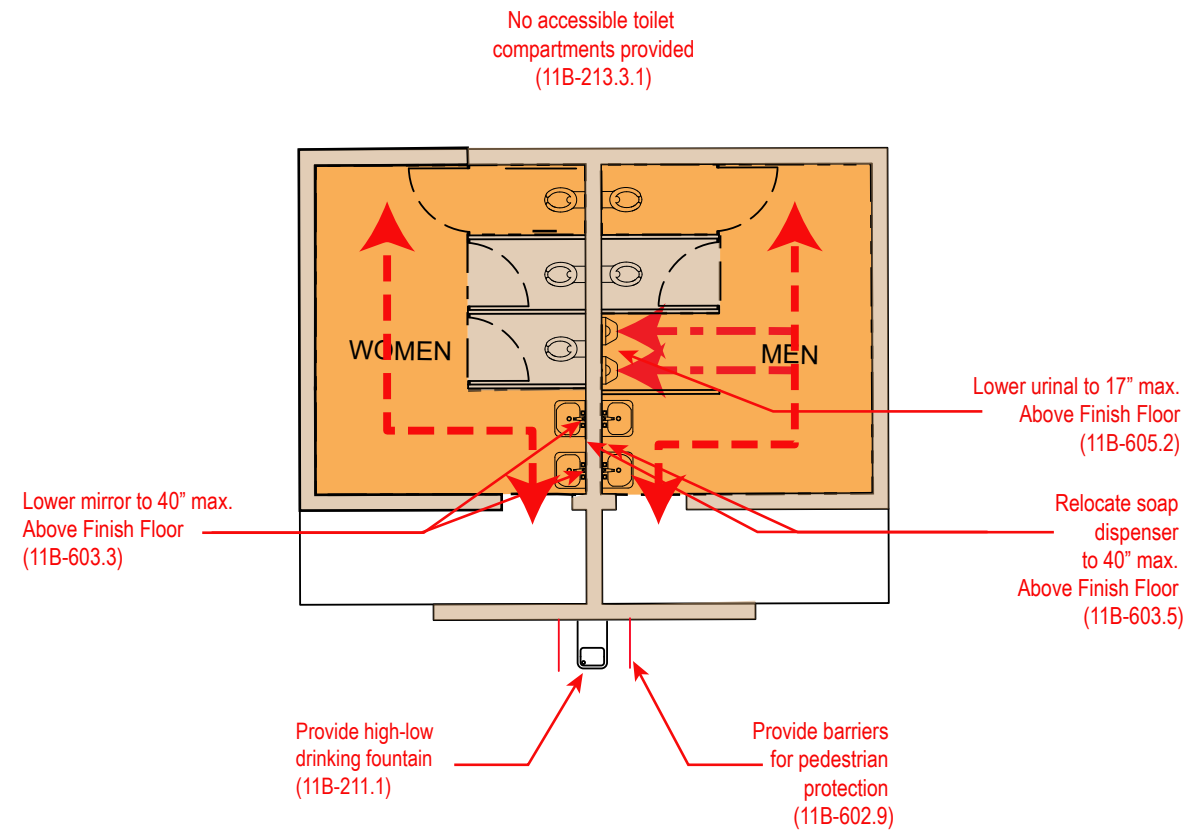


Exterior view of restroom.



Floor drain trough does not meet accessibility standards.

**DAY USE #2  
RESTROOM FLOOR PLAN**



**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom
	Deficient Path of Travel		Building Entrance		
	Deficiency				

NORTH  
NOT TO SCALE

**3.13 DAY USE #2 RESTROOM**

This building also is similar in layout and appearance as other buildings in Lake Skinner.

*Notable Access Barriers:*

General

- No accessible path to restroom from parking or other amenities
- Geometric signage mounted at improper height
- No accessible toilet stall
- Partition blocks forward approach to urinal
- Drinking fountain not high/low model

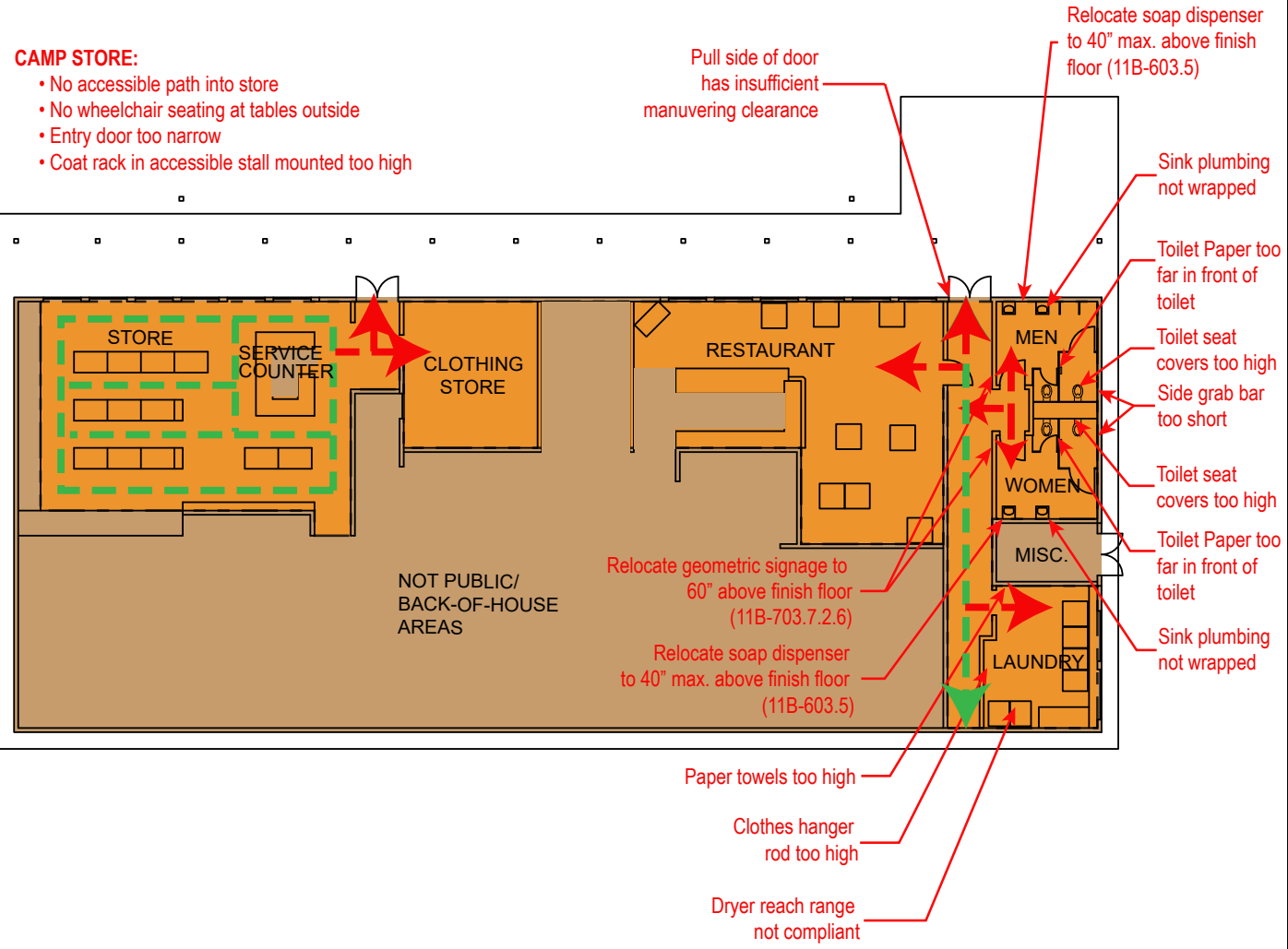


Exterior view of restroom.

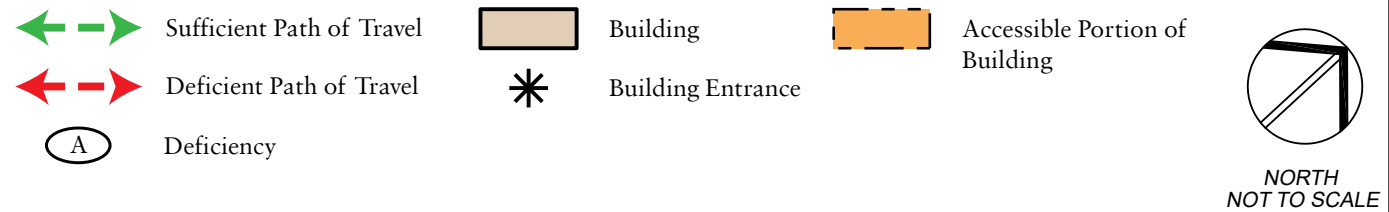


# CAMP STORE FLOOR PLAN

- CAMP STORE:**
- No accessible path into store
  - No wheelchair seating at tables outside
  - Entry door too narrow
  - Coat rack in accessible stall mounted too high



## Legend



## 3.14 CAMP STORE

This building includes a convenience store, restaurant, restrooms and laundry room.

### Notable Access Barriers:

#### General

- No accessible path into store
- No provision for wheelchair seating at tables outside store
- Entry door - each leaf 30" wide; too narrow - need automatic opener or wider doors (typ. 2 locations)

#### Restroom

- Geometric signage mounted too high
- Sink plumbing not wrapped
- Soap dispensers too high
- Side grab bar too short
- Toilet seat covers too high
- Toilet paper too far in front of toilet
- Coat rack mounted too high
- Pull side of door has insufficient maneuvering clearance

#### Laundry

- Paper towels too high
- Clothes hanger rod too high
- Dryer reach range - need to double check

#### Convenience Store

- Self service drink dispensers and condiments out of reach range
- Sales counter too tall (36" provided/ 34" max height allowed)

#### Restaurant

- Condiments out of reach range
- Sales counter too tall (36" provided/ 34" max height allowed)



Exterior view of camp store.



Panoramic view of men's restroom..



Panoramic view of convenience store interior.

## SUMMARY OF CORRECTIVE ITEMS:

### LAKE SKINNER RECREATION AREA

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (10 recommended)	\$2,500	Immediate	
<b>1.0 PARKING</b>				
1.1.1	Provide (1) Designated Van Accessible Parking Space and Loading zone in Parking lot near guard house; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2021	
1.1.2	Provide (1) Designated Van Accessible Parking Space and Loading zone in Parking lot near Campground C Restroom; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	December 2018	
1.1.3	Provide (2) Designated Van Accessible Parking Space and Loading zone, (3) standard accessible spaces and loading, and renovate existing 3 spaces in Parking lot near Launch Ramp #1; will require asphalt resurfacing - assume 2,500 SF, signage, striping, etc.	\$15,000	June 2028	
1.1.4	Provide (1) new Designated Van Accessible Parking Space and Loading zone, and renovate existing (5) spaces in Parking lot near Launch Ramp #2; will require asphalt resurfacing - assume 1,500 SF, signage, striping, etc.	\$10,000	June 2021	
1.1.5	Provide (1) Designated Van Accessible Parking Space and Loading zone, (4) standard accessible spaces and loading near Day Use #1; will require asphalt resurfacing - assume 1,200 SF, signage, striping, etc.	\$6,500	June 2020	
1.1.6	Provide (2) Designated Van Accessible Parking Space and Loading zone near Amphitheater; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$3,000	June 2019	
1.1.7	Renovate (1) existing space in Parking lot near Camp Store; will require asphalt resurfacing - assume 300 SF, signage, striping, etc.	\$1,500	June 2019	
1.3.1	Grind/overlay accessible parking near Splash Pad; assume 500 SF	\$1,000	June 2019	
1.3.2	Rework loading zone/ curb near Splash Pad south curb ramp	\$1,500	June 2019	
1.3.3	Provide loading zones at DAPS near boat launch areas	\$3,500	June 2025	
1.3.4	Provide "MINIMUM FINE \$250" signs/ replace with Caltrans R99 signage (typ. 15 existing places)	\$2,000	June 2018	
1.3.5	Remove/ replace curb ramps near boat launch #1 and camp store with ADA compliant type, truncated domes, etc.	\$7,500	June 2023	
<b>2.1 CAMPGROUND A</b>				
2.1.1	Renovate (1) existing designated accessible campsites and (1) new des. Acc. Campsite near restroom to provide access within campsite and to restroom	\$20,000	June 2020	

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
2.1.1 interim	Provide Accessible Portable Restroom and hand washing station near two campsites until funding allows for major renovation efforts	\$2,000	Immediate	
2.1.2	Extend accessible walkway to restroom/ playground	\$15,000	June 2020	
2.1.3	Replace accessible campsite signage with ISA only signage (coordinate w/ 2.1.1)	\$0	June 2020	
2.1.4	Replace picnic table with compliant model (coord. w/ 2.1.1)	\$0	June 2020	
2.1.5	Extend accessible walkway to playground (see 2.1.2)	\$15,000	June 2020	
2.1.6	Provide contrasting stripe at transfer steps	\$150	June 2020	
2.1.7	Remove sand from rubber play surfacing	\$100	June 2020	
<b>2.2 CAMPGROUND B</b>				
2.2.1	Renovate existing designated accessible campsite plus one additional campsite with accessible features and connection to sanitary facilities	\$20,000	June 2023	
2.2.1 interim	Provide Accessible Portable Restroom and hand washing station near two campsites until funding allows for major renovation efforts	\$2,000	Immediate	
2.2.2	Extend accessible walkway to restroom at Campground A	\$30,000	June 2023	
2.2.3	Replace accessible campsite signage with ISA only signage (coordinate w/ 2.2.1)	\$0	June 2023	
2.2.4	Replace picnic table with compliant model (coord. w/ 2.2.1)	\$0	June 2023	
<b>2.3 CAMPGROUND C</b>				
2.3.1	Renovate existing designated accessible campsite plus one additional campsite with accessible features and connection to sanitary facilities	\$20,000	June 2025	
2.3.1 interim	Provide Accessible Portable Restroom and hand washing station near two campsites until funding allows for major renovation efforts	\$2,000	Immediate	
2.3.2	Extend accessible walkway/ crossing to restroom at Campground C	\$5,000	June 2025	
2.3.3	Replace accessible campsite signage with ISA only signage (coordinate w/ 2.2.1)	\$0	June 2025	
2.3.4	Replace picnic table with compliant model (coord. w/ 2.2.1)	\$0	June 2025	
<b>2.4 PRIMITIVE CAMPGROUND</b>				
2.4.1	Provide (2) new designated accessible picnic table at group shelter	\$3,000	June 2020	
2.4.2	Provide wheelchair access for side approach to barbecue	\$500	June 2020	
2.4.3	Renovate concrete slab to eliminate changes in level, wide cracks, etc.	\$5,000	June 2020	
2.4.4	Relocate accessible temporary toilet to location where accessible path can connect to other amenities	\$1,000	June 2018	
<b>2.5 SPLASH PAD/ PLAYGROUND</b>				
2.5.1	Provide contrasting stripe at transfer steps	\$150	June 2020	
2.5.2	Provide edge protection where play surfacing transitions to steep areas; provide warning signage	\$4,000	June 2020	





ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
2.5.3	Reroute circulation walks that exceed allowable slopes; will also require irrigation/ planting retrofit	\$25,000	June 2020	
<b>2.6 AMPHITHEATER</b>				
2.6.1	Provide 1 accessible picnic table	\$1,500	June 2020	
2.6.2	Provide edge protection where walkway abuts steep side slope	\$2,000	June 2020	
<b>2.7 DAY USE #1</b>				
2.7.1	Provide accessible connection to shelter from parking and restroom	\$20,000	June 2020	
2.7.2	Provide accessible picnic table at shelter (2)	\$3,000	June 2020	
2.7.3	Provide wheelchair access for side approach to barbecue	\$500	June 2020	
<b>2.8 DAY USE #2</b>				
2.8.1	Provide accessible connection to shelter from parking and restroom	\$35,000	June 2021	
2.8.2	Provide accessible picnic table at shelter (1)	\$1,500	June 2021	
2.8.3	Provide wheelchair access for side approach to barbecue	\$500	June 2021	
<b>2.9 BOAT LAUNCH #1</b>				
2.9.1	Major renovations required to provide accessibility; likely over \$1,000,000+; need to discuss approach	\$1,000,000	June 2028	
<b>2.10 BOAT LAUNCH #2</b>				
2.10.1	Major renovations required to provide accessibility; likely over \$500,000+; need to discuss approach	\$500,000	June 2028	
<b>2.11 TRAILS</b>				
2.11.1	Provide detectable warnings at crossings	\$2,500	June 2021	
<b>3.2 PARK ENTRANCE RESTROOM</b>				
3.2.1	Existing restroom dimensions will not accommodate wheelchair users; need to provide adjacent accessible restroom	\$75,000	June 2020	
3.2.1 interim	Provide Accessible Portable Restroom and hand washing station near entry parking (coord w/ 1.1.1)	\$1,000	Immediate	
<b>3.5 CAMPGROUND A RESTROOM</b>				
3.5.1	Various minor/ moderate repairs - see report	\$15,000	June 2019	
<b>3.6 CAMPGROUND C RESTROOM</b>				
3.6.1	Various minor/ moderate repairs - see report	\$10,000	June 2019	
<b>3.7 SPLASH PAD NEW RESTROOM</b>				
3.7.1	Relocate grab bars in showers	\$1,000	June 2019	
<b>3.8 SPLASH PAD OLD RESTROOM</b>				
3.8.1	Existing restroom dimensions will require extensive retrofit to accommodate wheelchair users	\$40,000	June 2020	
3.8.1 interim	Provide Signage directing wheelchair users to Splash Pad New Restroom	\$500	Immediate	
<b>3.9 DAY USE #1 RESTROOM</b>				
3.9.1	Existing restroom dimensions will require extensive retrofit to accommodate wheelchair users	\$40,000	December 2019	
3.9.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom	\$1,000	Immediate	

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>3.10 BOAT LAUNCH #1 RESTROOM</b>				
3.10.1	Existing restroom dimensions will require extensive retrofit to accommodate wheelchair users	\$40,000	June 2028	
3.10.1 interim	Provide Accessible Portable Restroom and hand washing station at accessible location near actual boat ramp	\$1,000	Immediate	
<b>3.11 MARINA BUILDING</b>				
3.11.1	Need to relocate marina building to be on an accessible route; major reworking of docks, shoreline required	\$500,000	June 2028	
<b>3.12 BOAT LAUNCH #2 RESTROOM</b>				
3.12.1	Existing restroom dimensions will require extensive retrofit to accommodate wheelchair users	\$40,000	June 2021	
3.12.1 interim	Provide Accessible Portable Restroom and hand washing station at accessible location near actual boat ramp	\$1,000	Immediate	
<b>3.13 DAY USE #2 RESTROOM</b>				
3.13.1	Existing restroom dimensions will require extensive retrofit to accommodate wheelchair users	\$40,000	June 2023	
3.13.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom	\$1,000	Immediate	
<b>3.14 CAMP STORE</b>				
3.5	Various minor/major repairs - see report	\$100,000	June 2021	
TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)		\$2,701,900		





ACCESSIBILITY COMPLIANCE REPORT FOR:  
**LAWLER ALPINE CABINS**

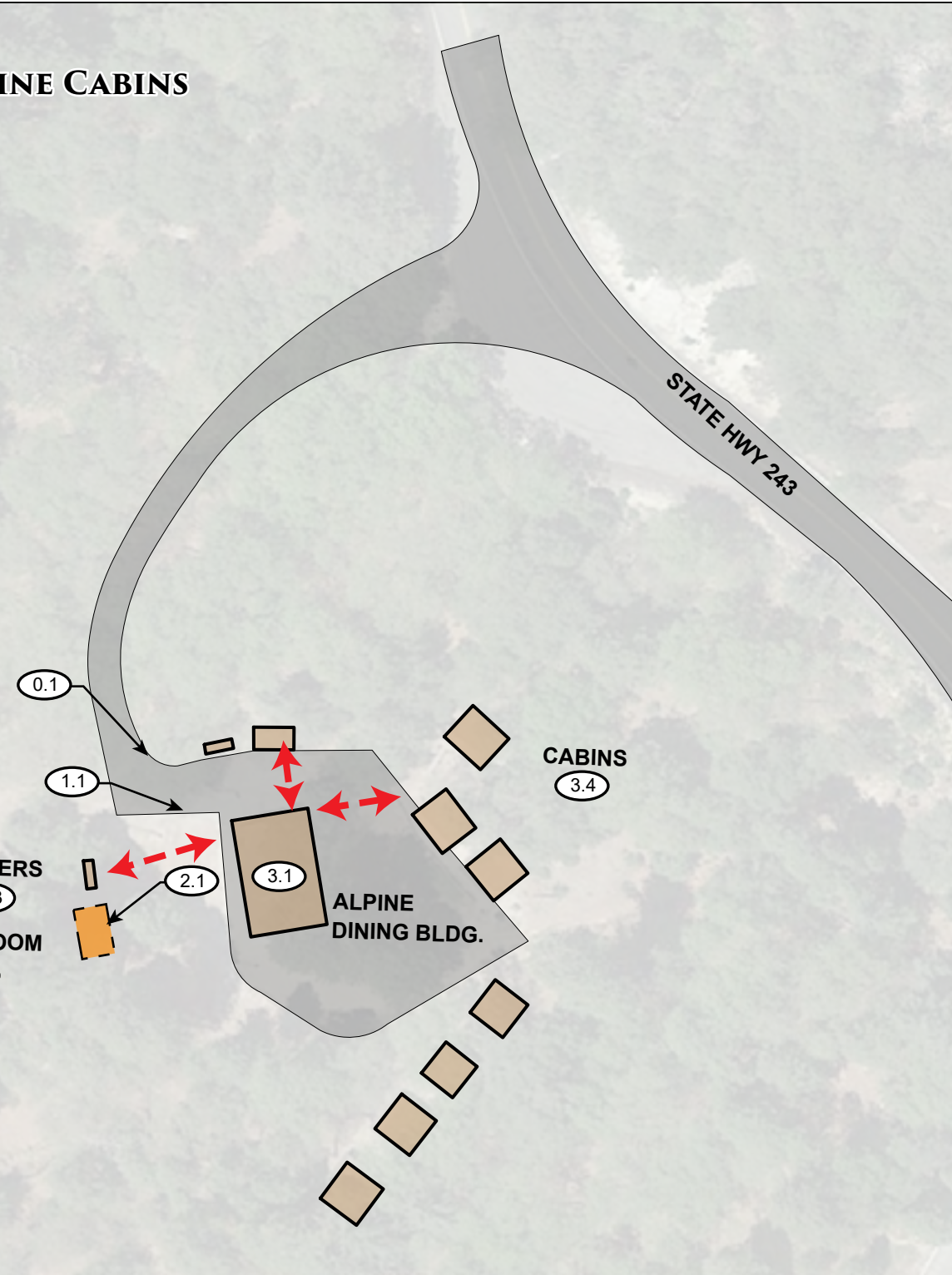
19751 State Highway 243  
Idyllwild, CA 92549

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# LAWLER ALPINE CABINS SITE PLAN



**Legend**

	Sufficient Path of Travel		Building		Restroom		
	Deficient Path of Travel		Parking		Building Entrance		
	Deficiency						NORTH NOT TO SCALE

## INTRODUCTION

Lawler Alpine Cabins provides cabin camping for groups in a mountainous setting near the north fork of the San Jacinto River near Idyllwild- Pine Cove. Due to the mountainous location of Lawler Alpine Cabins, visitors to the site solely arrive by private vehicle.

The accessibility compliance inspection for Lawler Alpine Cabins was performed on Thursday, January 25, 2018, with a start time of approximately 2:15 pm. Scott Rice, CASp-709 toured the facility with remote coordination from Anthony Miller, Park Ranger, and the direct accompaniment of a Ranger Joe summoned from Idyllwild Park.



*Pictured: Entrance from State Highway 243 into the Lawler Alpine Cabins site. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from State Highway 243. Nowhere along this entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk along rural State Highway 243, nor is a walkway provided into the site. There are no defined accessible walks at any location within the site. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

No local transit service operates in the direct vicinity of Lawler Alpine Cabins.

*ACTION: No action required by ADA nor CBC at the time of this report.*





## 1.0 PARKING ANALYSIS

### 1.1 OVERVIEW OF OFF-STREET PARKING

Lawler Alpine Cabins provides limited unmarked pavement for visitor parking. However, there are no designated parking spaces of any kind.

*ACTION ITEM 1.1: Provide at least one Designated Van-Accessible Parking Space on a firm, stable and slip resistant surface, conforming to the full requirements of CBC 11B-502.*

### 1.2 DISPERSION OF ACCESSIBLE PARKING

See 1.1 above. Since there is currently no provision of Designated Accessible Parking Spaces, dispersion is not applicable.

*ACTION ITEM 1.2: In conjunction with Action Item 1.1 above, locate the Designated Accessible Parking Space at the closest location to the main buildings.*

### 1.3 CONDITION OF ACCESSIBLE PARKING

See 1.1 above. Not applicable.



*There is currently no marked parking of any sort at Lawler Alpine Cabins (neither accessible nor general).*

## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 GENERAL CIRCULATION

This site is severely impacted by topography. All site improvements made to date do not take wheelchair accessibility into account.



*Existing restroom and showers are located far downslope of the Dining Hall and Cabins.*

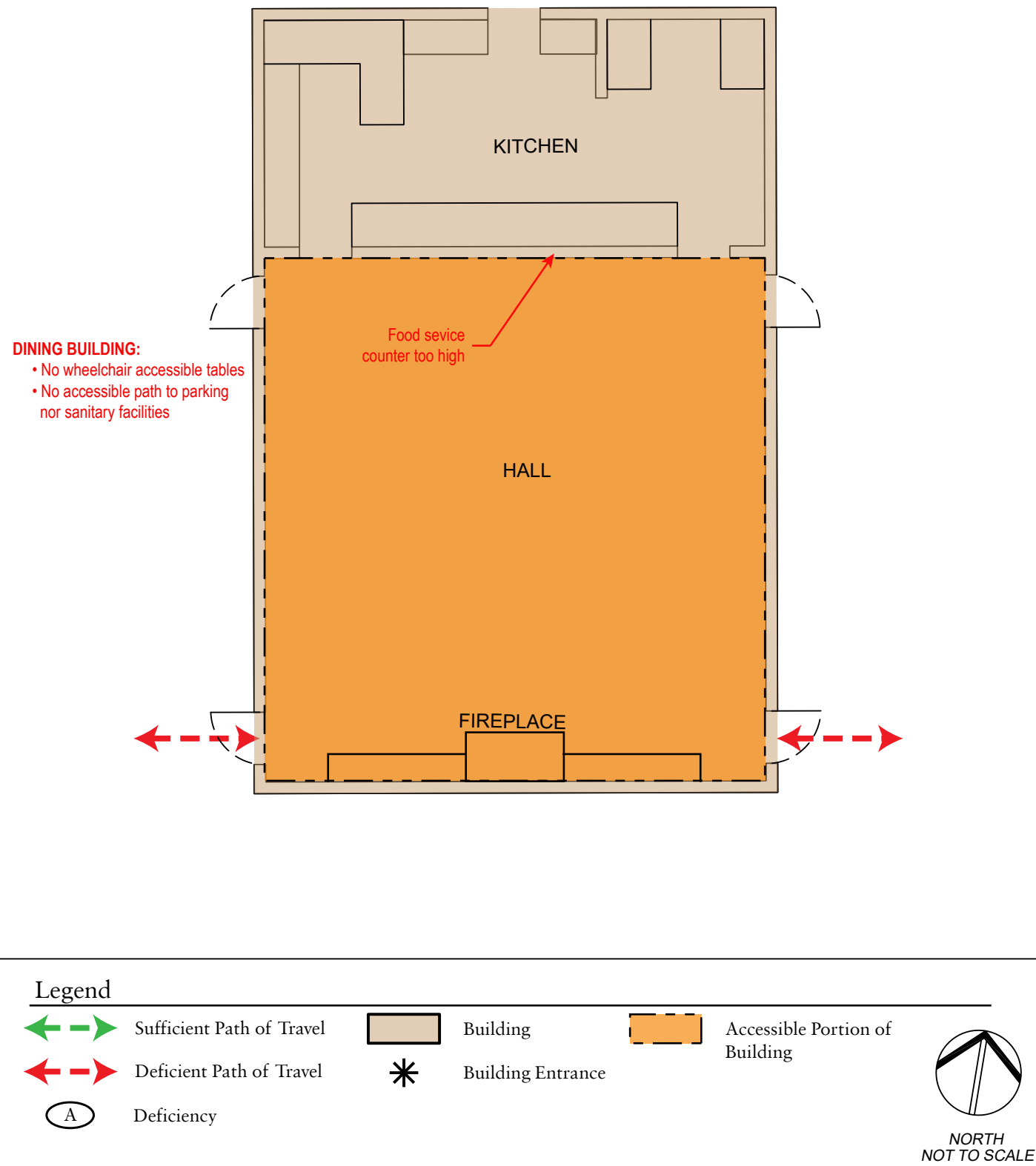


*Cabins are set at varying pad elevations, requiring travel on steep stairs to reach.*

*ACTION ITEM 2.1: Provide a long-term plan to add new cabins and restroom/ shower facilities at nearly the same elevation as the dining hall, so that the major site amenities can be connected by an accessible path, without destroying the historic character of the overall site.*



## DINING HALL FLOOR PLAN



## 3.0 BUILDINGS

There are several cabins within Lawler Alpine Cabins, as well as a dining hall, restroom and shower building.

### 3.1 DINING BUILDING

The dining hall has a large open floor with picnic tables for seating.



Tables and fireplace.



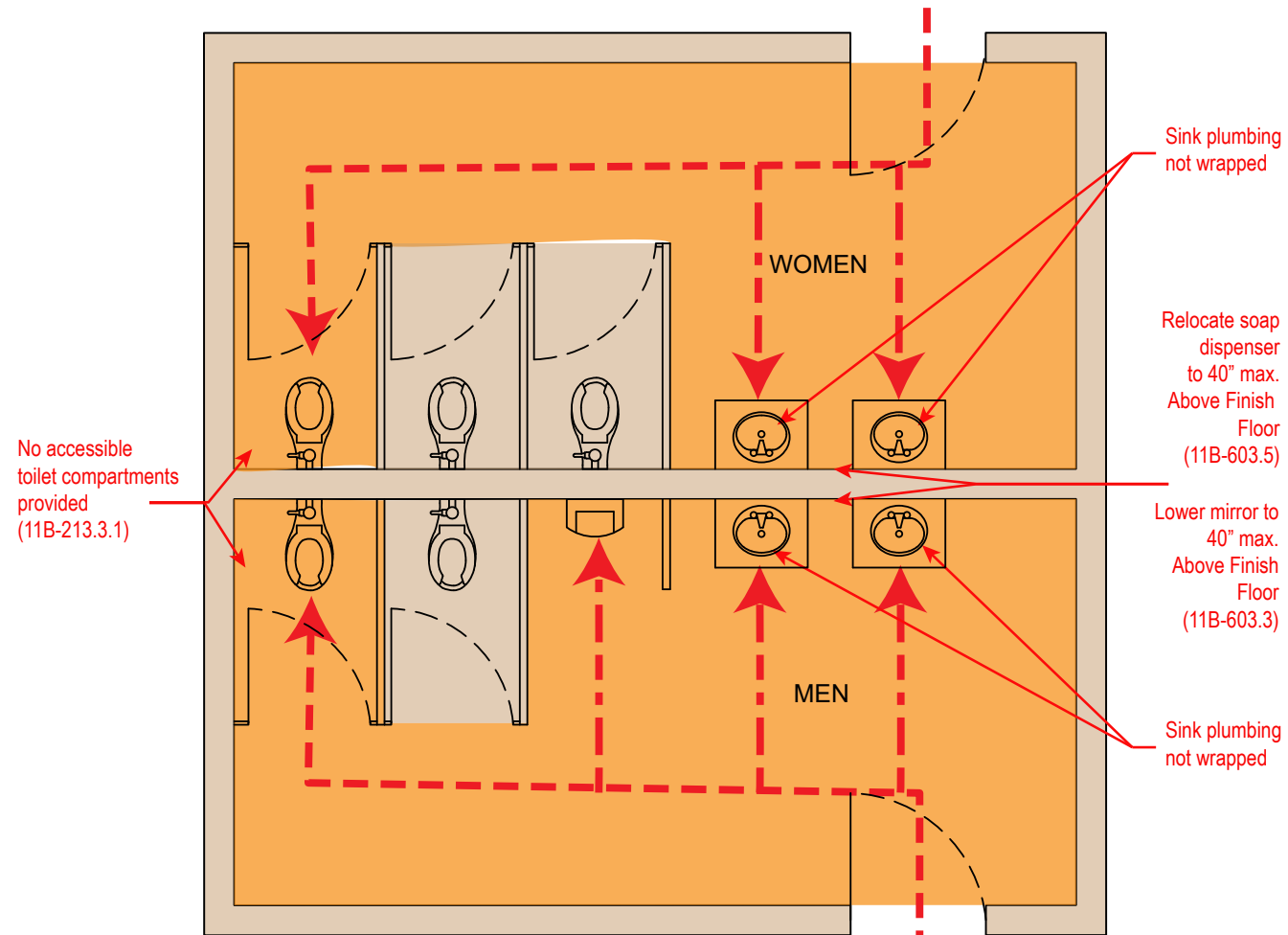
Kitchen.

#### Notable Access Barriers:

#### General

- No accessible path to parking nor sanitary facilities
- No wheelchair accessible tables provided
- Food service counter too high

# RESTROOM FLOOR PLAN



- Restroom:**
- No accessible path into building
  - Narrow interior passages

**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom	
	Deficient Path of Travel		Building Entrance			
	Deficiency					

NORTH  
NOT TO SCALE

## 3.2 RESTROOM

The restroom building is located downslope from the Dining Hall, and requires traversing natural terrain and stone steps to reach.

### Notable Access Barriers:

#### General

- No accessible path to reach building
- No wheelchair accessible toilets
- Narrow interior passages
- Plumbing not wrapped at sinks
- Mirrors/ soap mounted too high above sink



Interior view of Men's Restroom

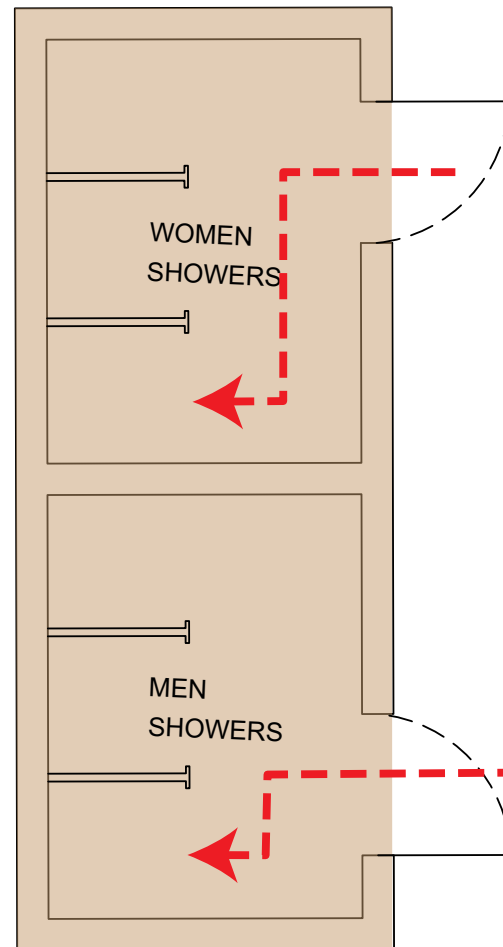


Exterior view of Restroom/ Showers





## SHOWERS FLOOR PLAN

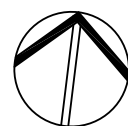


**Showers:**  
 • Building cannot be accessed  
 nor entered by wheelchair

**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE  
 INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**

### Legend

- Sufficient Path of Travel
- Deficient Path of Travel
- Building
- Building Entrance
- Deficiency



NORTH  
NOT TO SCALE

## 3.3 SHOWERS

The shower building is located directly adjacent to the restrooms. The building cannot be accessed nor entered by wheelchair.

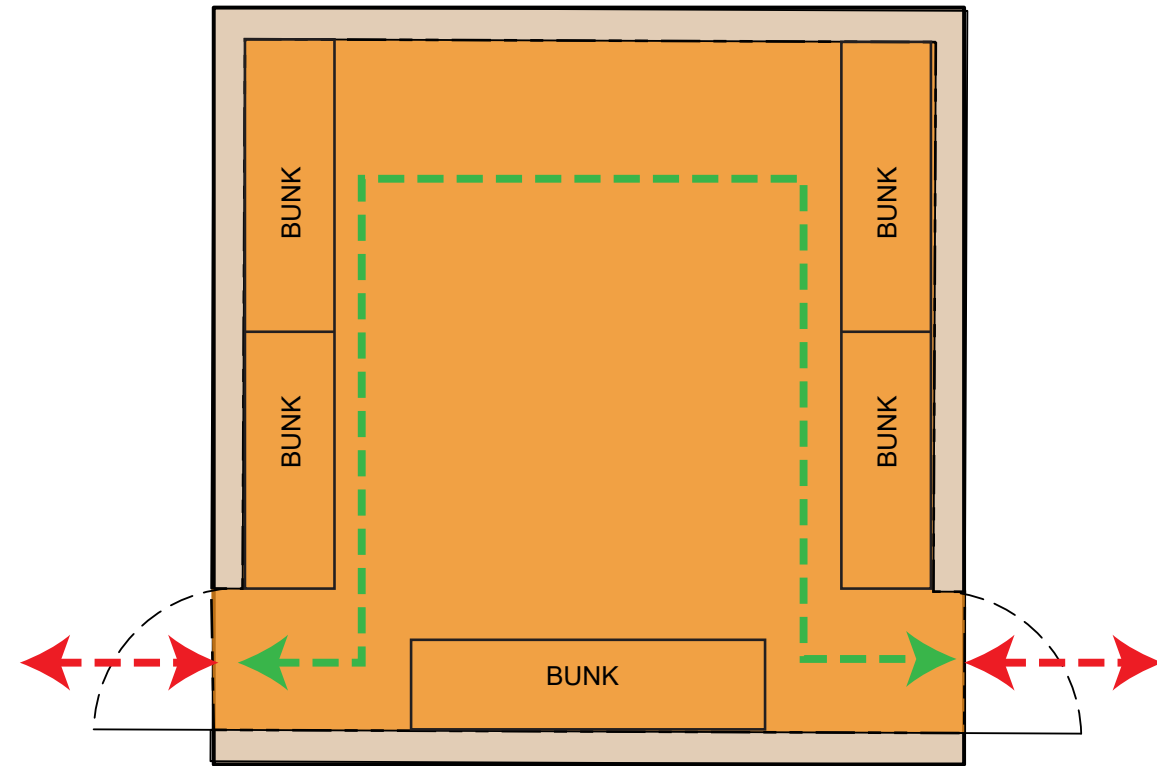


Interior view of showers.

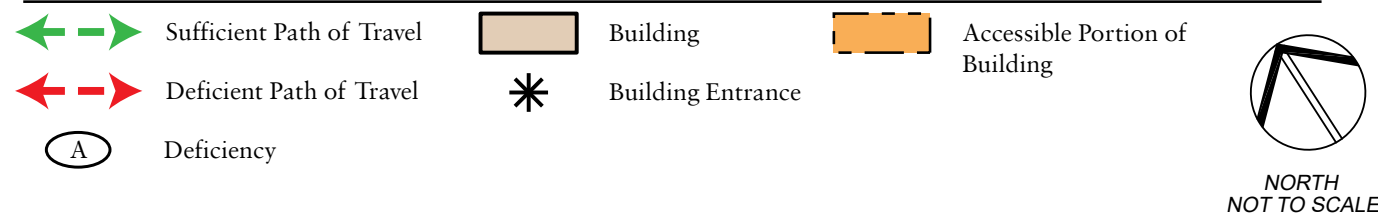


Inside shower building, looking out.

## TYPICAL CABIN FLOOR PLAN



### Legend



## 3.4 CABINS

The cabins are generally inaccessible by wheelchair. However, once inside the buildings, the floor is very open and flexible.

*ACTION: Develop a long-term plan to provide an accessible cabin building that connects to the food hall and accessible parking.*



Example of current site constraints.



Once inside, the cabins allow ample circulation space.

## 3.5 ANCILLARY BUILDINGS

These buildings are not for public access, and therefore are not covered in this report.



## SUMMARY OF CORRECTIVE ITEMS:

### LAWLER ALPINE CABINS

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage	\$250	Immediate	
<b>1.0 PARKING</b>				
1.1, 1.2	Provide (1) Concrete Designated Van Accessible Parking Space, (1) Standard Accessible Parking Space and Loading zone near main building; assume 1,000 SF, signage, striping, etc.	\$7,500	June 2020	
<b>2.1 GENERAL CIRCULATION</b>				
2.1.1	Develop long-term plan for adding new restrooms and an accessible cabin at a feasible area to provide accessibility	\$500,000	June 2025	
<b>3.1 DINING BUILDING</b>				
3.1.1	Minor repairs needed - see report	\$15,000	June 2021	
<b>3.2 RESTROOM</b>				
3.2.1	Existing restroom dimensions will not accommodate wheelchair users; need to provide adjacent accessible restroom/ shower building (see 2.1.1)	\$0	June 2025	
3.2.1 interim	Provide Accessible Portable Restroom and hand washing station near main building	\$1,000	Immediate	
<b>3.3 SHOWERS</b>				
3.3.1	Existing restroom dimensions will not accommodate wheelchair users; need to provide adjacent accessible restroom/ shower building (see 3.2.1)	\$0	June 2025	
3.3.1 interim	Provide Accessible Portable Restroom and hand washing station near main building (see 3.2.1)	\$0	Immediate	
<b>3.4 CABINS</b>				
3.3.1	Existing cabins have geographic constraints for access; either provide ramp to closest/ lowest cabin or build (1) new accessible cabin (see 2.1.1)	\$0	June 2025	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$523,750		



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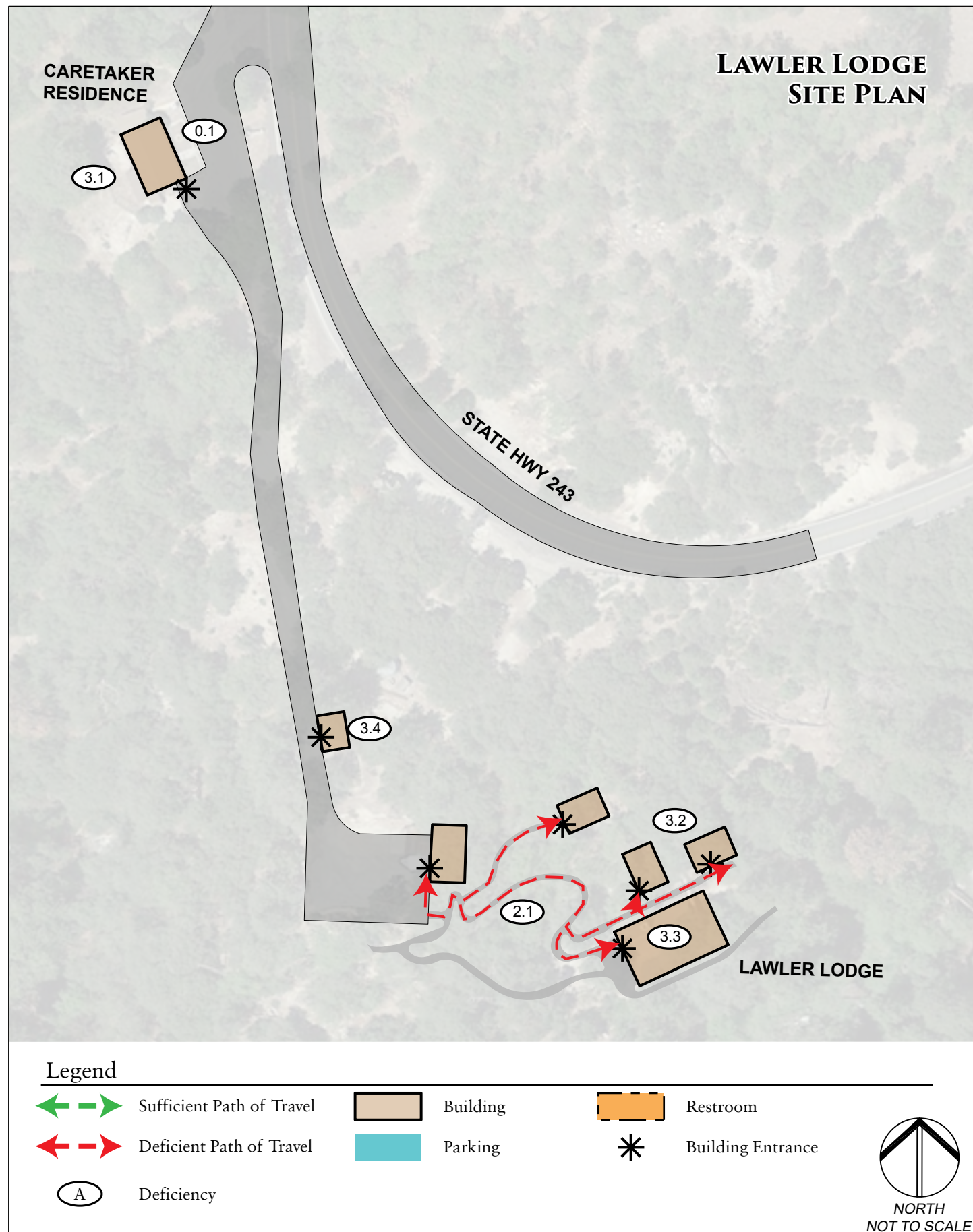
ACCESSIBILITY COMPLIANCE REPORT FOR:  
**LAWLER LODGE**

19751 State Highway 243  
Idyllwild, CA 92549

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## INTRODUCTION

Similar to and directly neighboring Lawler Alpine Cabins, Lawler Lodge provides cabin camping for groups in a mountainous setting near the north fork of the San Jacinto River near Idyllwild- Pine Cove. Due to the mountainous location of Lawler Alpine Cabins, visitors to the site solely arrive by private vehicle.

The accessibility compliance inspection for Lawler Alpine Cabins was performed on Thursday, January 25, 2018, with a start time of approximately 1:30 pm. Scott Rice, CASp-709 toured the facility with remote coordination from Anthony Miller, Park Ranger, and the direct accompaniment of Ranger Joe summoned from Idyllwild Park.



*Pictured: Entrance from State Highway 243 into the Lawler Lodge site. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from State Highway 243. A caretaker residence is located at the entrance to the site, with unstriped parking present. The sign required by CBC 11B-502.8 is not present, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk along rural State Highway 243, nor is a walkway provided into the site. There are no defined accessible walks at any location within the site. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

No local transit service operates in the direct vicinity of Lawler Lodge.

*ACTION: No action required by ADA nor CBC at the time of this report.*



## 1.0 PARKING ANALYSIS

### 1.1 OVERVIEW OF OFF-STREET PARKING

Lawler Lodge provides limited unmarked pavement for visitor parking. However, there are no designated parking spaces of any kind.

*ACTION ITEM 1.1: Provide at least one Designated Van-Accessible Parking Space on a firm, stable and slip resistant surface, conforming to the full requirements of CBC 11B-502.*

### 1.2 DISPERSION OF ACCESSIBLE PARKING

See 1.1 above. Since there is currently no provision of Designated Accessible Parking Spaces, dispersion is not applicable.

*ACTION ITEM 1.2: In conjunction with Action Item 1.1 above, locate the Designated Accessible Parking Space at the closest location to the main buildings.*

### 1.3 CONDITION OF ACCESSIBLE PARKING

See 1.1 above. Not applicable.



*There is currently no marked parking of any sort at Lawler Lodge (neither accessible nor general).*

## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 GENERAL CIRCULATION

Similar to the neighboring Lawler Alpine Cabins, this site is severely impacted by topography. All site improvements made to date do not take wheelchair accessibility into account.



*All existing structures are built into a steep hillside, and are only accessed by stone stairways, absent of handrails.*



*Paths to the cabins and Lodge are treacherous.*

*ACTION ITEM 2.1: Provide a long-term plan to add new cabins and restroom/shower facilities at nearly the same elevation as the dining hall, so that the major site amenities can be connected by an accessible path, without destroying the historic character of the overall site.*



### 3.0 BUILDINGS

There is a caretaker residence at the entrance to Lawler Lodge from State Route 243 within Lawler Lodge. Further into the site, there are various cabins that are reached by stone stairs, located at various elevations from the entry grade. The main Lodge building is set far below the roadway elevation and is only reached by steep flights of stone stairs.

#### 3.1 CARETAKER RESIDENCE

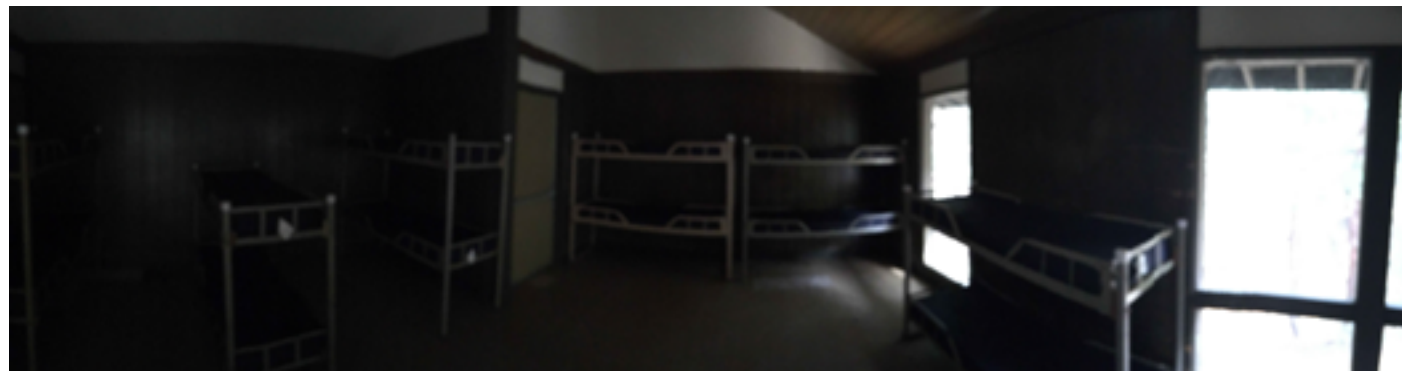
Not publicly accessed, according to the Park Ranger.



A non-accessible yet functioning pay phone booth provides a glimpse into olden days. Per CBC 11B-217.4.4, unless 4 or more pay phones are provided, a TTY is not required.

#### 3.2 CABINS

The cabins are located within a picturesque mountainous setting on steep terrain, that is only reached by foot over somewhat treacherous paths and stone steps. It will not likely be feasible to reach these existing cabins with wheelchair access.



### 3.3 LODGE

The Lodge is a historic log cabin building with entrance points on two separate floors. There is no accessible route between the roadway level and the Lodge building on site. Travel is limited to steep flights of uneven stone stairs. The restroom and shower facilities provided are narrow in construction. There are interior and exterior stairs present, but no lift, ramp, or elevator.

*ACTION: The general recommendation is not to attempt to make the Lodge building accessible, rather to provide a long-term plan for constructing a fully accessible building at or near the level of a new Designated Accessible Parking Area.*





## SUMMARY OF CORRECTIVE ITEMS:

### LAWLER LODGE

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
GENERAL SITE				
0.1	Provide Tow-Away Signage	\$250	Immediate	
1.0 PARKING				
1.1, 1.2	Provide (1) Concrete Designated Van Accessible Parking Space, (1) Standard Accessible Parking Space and Loading zone near main building; assume 1,000 SF, signage, striping, etc.	\$7,500	June 2021	
2.1 GENERAL CIRCULATION				
2.1.1	Develop long-term plan for adding new restrooms and an accessible cabin at a feasible area to provide accessibility	\$750,000	June 2028	
3.1 DINING BUILDING				
3.1.1	Minor repairs needed - see report	\$15,000		
3.2 CABINS				
3.2.1	Existing cabins have geographic constraints for access; build (1) new accessible cabin near road level (more architecturally elaborate than Lawler Lodge); see 2.1.1	\$0	June 2028	
3.3 LODGE				
3.3.1	Geographically not feasible to provide wheelchair access to building without very extensive ramp system or elevator	\$500,000	June 2028	
3.3.2	Lodge would require extensive retrofit to allow wheelchair access	\$250,000	June 2028	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$1,522,750		







ACCESSIBILITY COMPLIANCE REPORT FOR:  
**COLLIS MAYFLOWER PARK**

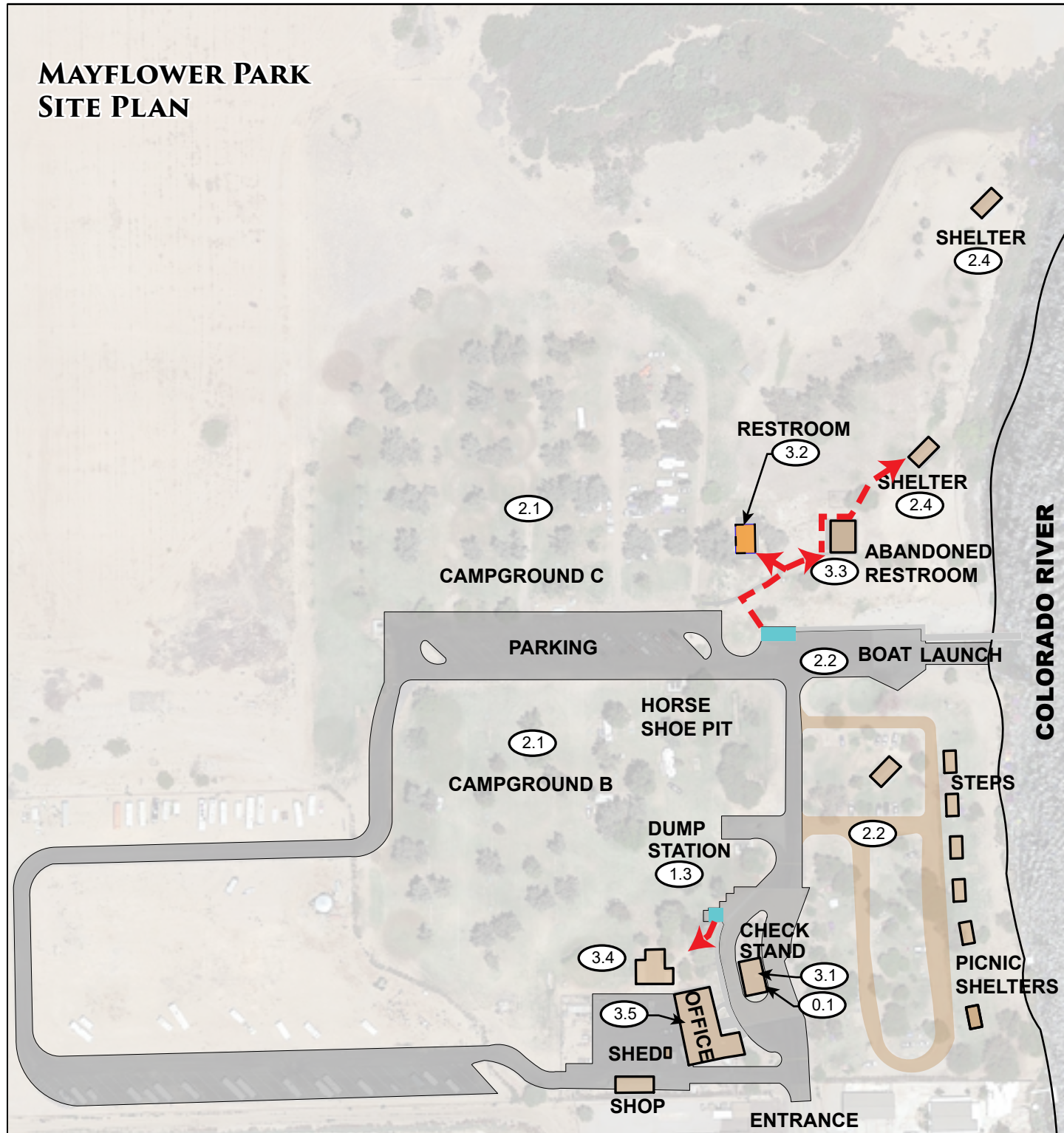
4980 Colorado River Road  
Blythe, CA 92225

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# MAYFLOWER PARK SITE PLAN



**Legend**

	Sufficient Path of Travel		Building		Restroom	
	Deficient Path of Travel		Parking		Building Entrance	
	Deficiency					NORTH NOT TO SCALE

## INTRODUCTION

Mayflower Park is located on the California shore of the Colorado River, just north of Interstate 10 near Blythe. The park site consists of RV and primitive/ equestrian campgrounds, boat launch, and day use areas. Due to the remote location and distance from Blythe, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Mayflower Park was performed on Wednesday, January 31, 2018, with a start time of approximately 9:00 am. Scott Rice, CASp-709 toured the facility with Vicki Armentrout, Park Ranger Supervisor, and Nori Gardner, Park Ranger.



*Pictured: Entry drive from Colorado River Road into Mayflower Park. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one ingress/ egress point that serves the property from Colorado River Road. All inbound traffic is controlled by an entry kiosk. Nowhere along this entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on Colorado River Road, nor is a walkway provided into the Park. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is Palo Verde Valley Transit Agency. No existing routes travel past the entrance to the park site. The closest Palo Verde Valley route to the site is Route 4 at Hobsonway and Intake Boulevard (US 95), with approximately 6.5 miles between the closest bus stop and Mayflower Park.

*ACTION: No action required by ADA nor CBC at the time of this report.*





# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Mayflower Park includes a total of 49 marked off-street parking spaces, divided amongst three paved parking lots at various locations throughout the park site, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Near Guard House	4	3	0	0	1	1	1	1	Yes
Near Boat Launch	1	0	0	0	1	1	0	1	No
Central Lot	44	44	0	0	0	2	0	1	No
<b>TOTAL</b>	<b>49</b>	<b>47</b>	<b>0</b>	<b>0</b>	<b>2</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Renovate one existing Designated Accessible Parking Space near the boat launch to be Van Accessible, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.2: Provide one new Designated Van-Accessible Parking Space and one standard Designated Accessible Parking Space to the central lot, in compliance with CBC 11B-502.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at each of the observed parking lots at Mayflower Park currently allow for accessible parking to be located in close proximity to the building and/or key amenity they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

The entry portion of the park as well as the boat launch area reflect fairly recent construction/ renovation efforts. The remainder of the site appears generally absent of efforts toward accessibility. Unfortunately, some of the new renovated areas contain Designated Accessible Parking spaces with major deficiencies. See next page for action items.

*ACTION ITEM 1.3.1: Extend the left edge of the Designated Accessible Parking Space located near the park entrance to provide the minimum required 18' length, as per CBC 11B-502.2.*

*ACTION ITEM 1.3.2: The International Symbol of Accessibility (ISA) at the space mentioned in 1.3.1 above must be located with its lower corner aligned with the end of the parking space length, as per CBC 11B-502.6.4.1.*

*ACTION ITEM 1.3.3: Provide "NO PARKING" in 12" tall characters at the leading edge of the passenger loading zones at all designated accessible parking spaces, and hatched lines at 36" on-center maximum, in compliance with CBC 11B-502.3.3.*

*ACTION ITEM 1.3.4: Provide "Minimum Fine: \$250" signage at boat launch parking spaces as defined by CBC 11B-502.6.2; Recommendation is to replace all existing signage with the Caltrans R99 signage shown in the beginning of this report. Signage shall maintain 60" min. clearance where signs are located outside accessible routes, and 80" min. clear where located within accessible routes, as per CBC 11B-502.6.*



Despite the visually attractive qualities of this paver-set Designated Accessible Parking Space, there are several non-compliant attributes that need to be addressed.



Loading zone/ access aisle striping is currently installed at over 4'; CBC requires 3' on-center, maximum.



The "Boat Accessible" parking space needs to be renovated to meet the full requirements of CBC 11B-502.





## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 CAMPGROUND

Mayflower Park currently provides 152 full hookup RV sites and 27 dry camping sites. There are not currently any designated accessible campsites.

California Building Code 11B-246.2 states that where camping facilities are provided, that at least two campsites and one additional campsite for each 100 campsites or fraction thereof, shall be accessed by and connected to sanitary facilities by travel routes with a maximum slope of 1:12.

*ACTION ITEM 2.1.1: Renovate three campsites in a location near restroom/ shower facilities to meet the full requirements of CBC 11B-246.2.*

*ACTION ITEM 2.1.2: Provide an accessible route between designated accessible campsites and the closest adjacent sanitary facilities, as required by CBC-246.2.*

### 2.2 GENERAL CIRCULATION

Circulation paths through Mayflower Park do not currently provide connectivity between campsites and key amenities.



The same non-compliant waste containers previously seen at Bogart Park are also present at Mayflower.



Access to trash enclosures exceeds allowable slopes, does not offer edge protection, and leads park patrons directly into hazardous vehicle area without detectable warning..



The walkway accessing the new restroom/ shower building exceeds allowable cross slope, at and near wheelchair turning space.

### 2.3 BOAT LAUNCH

The boat launch appears to have been recently updated. However, some of the accessibility features do not comply with current accessibility requirements.

*ACTION ITEM 2.3.1: Provide signage warning boat launch users of the gradient of the pedestrian deck.*

*ACTION ITEM 2.3.2: At the access ramp between the boat launch area and the designated accessible parking, modify the handrail to provide at 12" minimum extension past the grade break at the top of the ramp, in line with CBC 11B-505.10.1.*

*ACTION ITEM 2.3.3: Renovate stairs to be fully compliant with CBC 11B-504.*



The boat launch exceeds the allowable slope for ramps, but meets the exception criteria listed in CBC 11B-1003. Due to topography constraints, signage should be provided to warn of the hazardous slope gradient.



The access ramp continues to ascend past the handrail extension.



A staircase near the boat launch area has handrails that exceed 38".



## 2.4 PICNIC SHELTERS

Several picnic shelters are provided along the bluff overlooking the Colorado River. In general, none of these shelters



No accessible path is provided to any of the shelters from surrounding accessible park amenities.



Tables nor barbecues take accessibility into account.

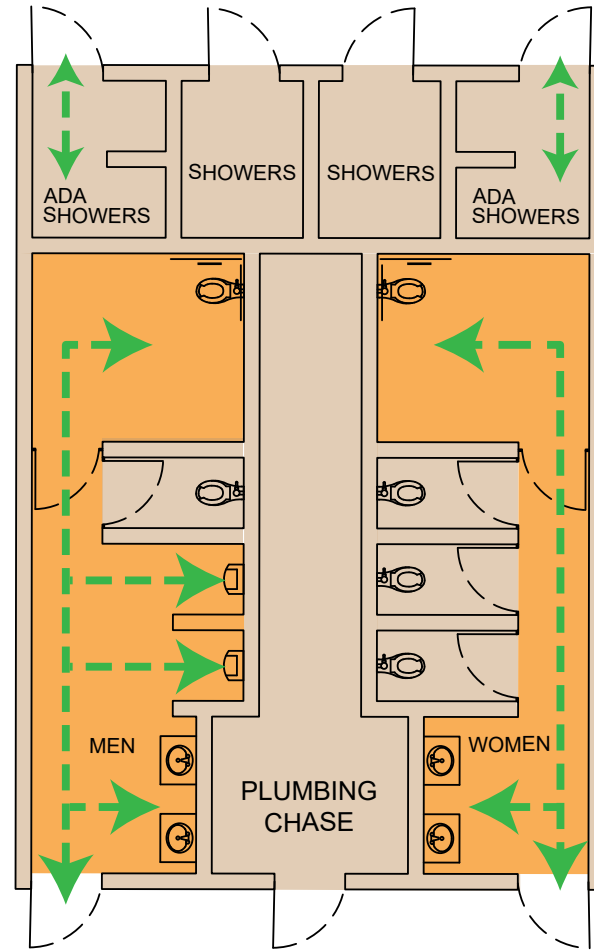
properly accommodate disabled park patrons. See photos and action items.

*ACTION ITEM 2.4.1: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

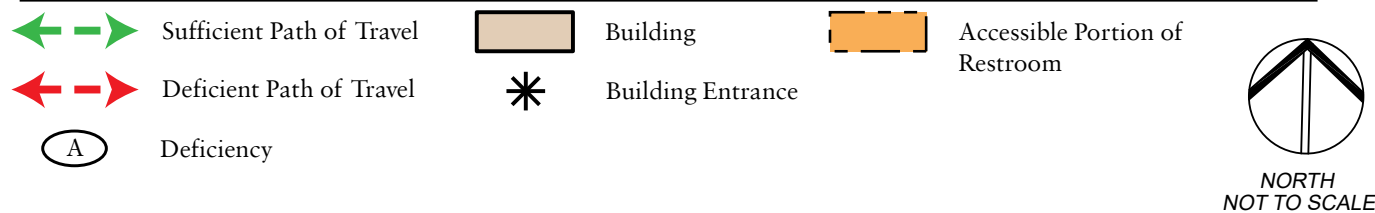
*ACTION ITEM 2.4.2: Provide wheelchair access for side approach at the barbecue, within the reach range requirements of CBC 11B-308.3*



## RESTROOM/ SHOWERS FLOOR PLAN



### Legend



## 3.0 BUILDINGS

There is currently an entry kiosk and three restroom buildings within Mayflower Park.

### 3.1 ENTRY KIOSK

The Entry gate kiosk is not a publicly accessed building. The County employee accommodates park patrons at their vehicle.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 3.2 RESTROOM/ SHOWERS

This building is a newer pre-fabricated restroom/ shower building that appears to be generally compliant.

*Notable Access Barriers:*

General

- No accessible path to reach building



Restroom Exterior.

### 3.3 ABANDONED RESTROOM

This former restroom building will be demolished, and is not a publicly accessed building.

### 3.4 ABANDONED CARETAKER RESIDENCE

This former caretaker residence building will be removed from the site, and is not a publicly accessed building.

### 3.5 MAINTENANCE BUILDING

The maintenance building is not a publicly accessed building.



## SUMMARY OF CORRECTIVE ITEMS:

### MAYFLOWER PARK

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (3 total)	\$750	Immediate	
<b>1.0 PARKING</b>				
1.1.1	Provide (1) Designated Van Accessible Parking Space and Loading zone near boat launch; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2021	
1.1.2	Provide (1) Designated Van Accessible Parking Space and Loading zone in Parking lot; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2021	
1.3.1 - 1.3.3	Extend left edge of entrance parking space; rework pavers; add "NO PARKING" characters to access aisle	\$10,000	June 2020	
1.3.4	Provide "MINIMUM FINE \$250" / Replace signs with Caltrans R99 sign (Typ. of 2 locations)	\$500	Immediate	
<b>2.1 CAMPGROUND</b>				
2.1.1	Renovate (3) campsites near restroom to provide access within campsite and to restroom	\$37,500	June 2023	
2.1.1 interim	Provide Accessible Portable Restroom and hand washing station near three campsites until funding allows for major renovation efforts	\$3,000	Immediate	
<b>2.2 GENERAL CIRCULATION</b>				
2.2.1	Provide accessible walkways to connect campsites and day use areas, major amenities	\$150,000	June 2025	
<b>2.3 BOAT LAUNCH</b>				
2.3.1	Provide signage warning of excessive, fluctuating slope of pedestrian dock	\$500	December 2018	
2.3.2	Modify/ lengthen top extensions to ramp handrail	\$2,000	June 2019	
2.3.3	Renovate existing stairs	\$5,000	June 2025	
<b>2.4 PICNIC SHELTERS</b>				
2.4.1	Provide accessible picnic table at each group shelter and at walkway-adjacent individual table locations (est. 10 tables)	\$15,000	June 2023	
2.4.2	Provide wheelchair access / side approach to barbecues	\$1,000	June 2023	
<b>3.2 RESTROOM/ SHOWERS</b>				
2.4.1	Provide accessible walk to restroom building (coord w/ 2.2.1)	\$0	June 2025	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$230,250		





ACCESSIBILITY COMPLIANCE REPORT FOR:  
**MCCALL MEMORIAL PARK**

28500 McCall Park Road  
Mountain Center, CA 92561

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# MCCALL PARK SITE PLAN



## Legend

	Sufficient Path of Travel		Building		Restroom		
	Deficient Path of Travel		Parking		Building Entrance		
	Deficiency						NORTH NOT TO SCALE

## INTRODUCTION

McCall Memorial Park is located off State Highway 74, just west of Mountain Center. The park site consists of primitive/ equestrian campgrounds, day use areas and trails. Due to the mountainous location, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for McCall Park was performed on Thursday, February 15, 2018, with a start time of approximately 3:30 pm. Scott Rice, CASp-709 toured the facility with, Brittany Wohltman, Park Attendant.



*Pictured: Entry drive into McCall Park. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from McCall Park Road. Nowhere along this entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on the facility side of McCall Park Road, nor is a walkway provided. Pedestrian access first becomes apparent at the designated accessible parking space. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

There is no rapid transit provider near the park site.

*ACTION: No action required by ADA nor CBC at the time of this report.*



# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

McCall Memorial Park includes a total of 55 marked off-street parking spaces, divided amongst three paved parking lots at various locations throughout the park site, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Near Restroom	13	12	0	0	1	1	1	1	Yes
Middle Lot	22	22	0	0	0	1	0	1	No
Northern Lot	20	20	0	0	0	1	0	1	No
Equestrian Area	(Unpaved/ Non-marked parking)								
<b>TOTAL</b>	<b>55</b>	<b>54</b>	<b>0</b>	<b>0</b>	<b>1</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Provide one Designated Van-Accessible Parking Space in the Middle Parking lot, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.2: Provide one Designated Van-Accessible Parking Space in the Northern Parking lot, in compliance with CBC 11B-502.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of the designated accessible parking space at the Restroom parking lot currently allows for accessible parking to be located in the closest available proximity to the restroom, in line with the dispersion requirements of CBC 11B-208.3.1. Consideration shall be made relating to proximity to trail heads when selecting the location for the future Designated Accessible Parking Spaces at the middle and northern parking lots

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

The lone existing Designated Accessible Parking Space near the restroom building has many non-compliant attributes.

*ACTION ITEM 1.3.1: Renovate the existing Designated Accessible Parking Space to be fully compliant with current accessibility requirements.*

*ACTION ITEM 1.3.2: Provide one new DAPS and access aisle/loading zone at each of the middle and northern lots.*



Designated Accessible Parking Space has excessive slope, faded striping, surface issues, and missing "MINIMUM FINE \$250" signage.



Large crack present within existing DAPS.



No DAPS are currently provided in the middle parking lot.



No DAPS are currently provided in the upper parking lot.





## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 EQUESTRIAN CAMPGROUND

McCall Memorial Park includes 53 corrals and separate space for camping.

California Building Code 11B-246.2 states that where camping facilities are provided, that at least two campsites and one additional campsite for each 100 campsites or fraction thereof, shall be accessed by and connected to sanitary facilities by travel routes with a maximum slope of 1:12.



*Pictured: Equestrian corrals within McCall Park.*

*ACTION ITEM 2.1.1: Renovate two campsites in a location near restroom/ shower facilities to meet the full requirements of CBC 11B-246.2.*

*ACTION ITEM 2.1.2: Provide an accessible route between designated accessible campsites and the closest adjacent sanitary facilities, as required by CBC-246.2.*

### 2.2 PICNIC AREA

There are two picnic shelters directly adjacent to one another, and a separate area where loose picnic tables are scattered amongst pine trees. There is no accessible path currently connecting the picnic shelters to the restroom nor to the Designated Accessible Parking Space.



*Pictured: Equestrian corrals within McCall Park.*

*ACTION ITEM 2.2.1: Provide an accessible connection to picnic areas from the restroom and accessible parking, in compliance with CBC 11B-206 and 11B-246.5.*

*ACTION ITEM 2.2.2: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

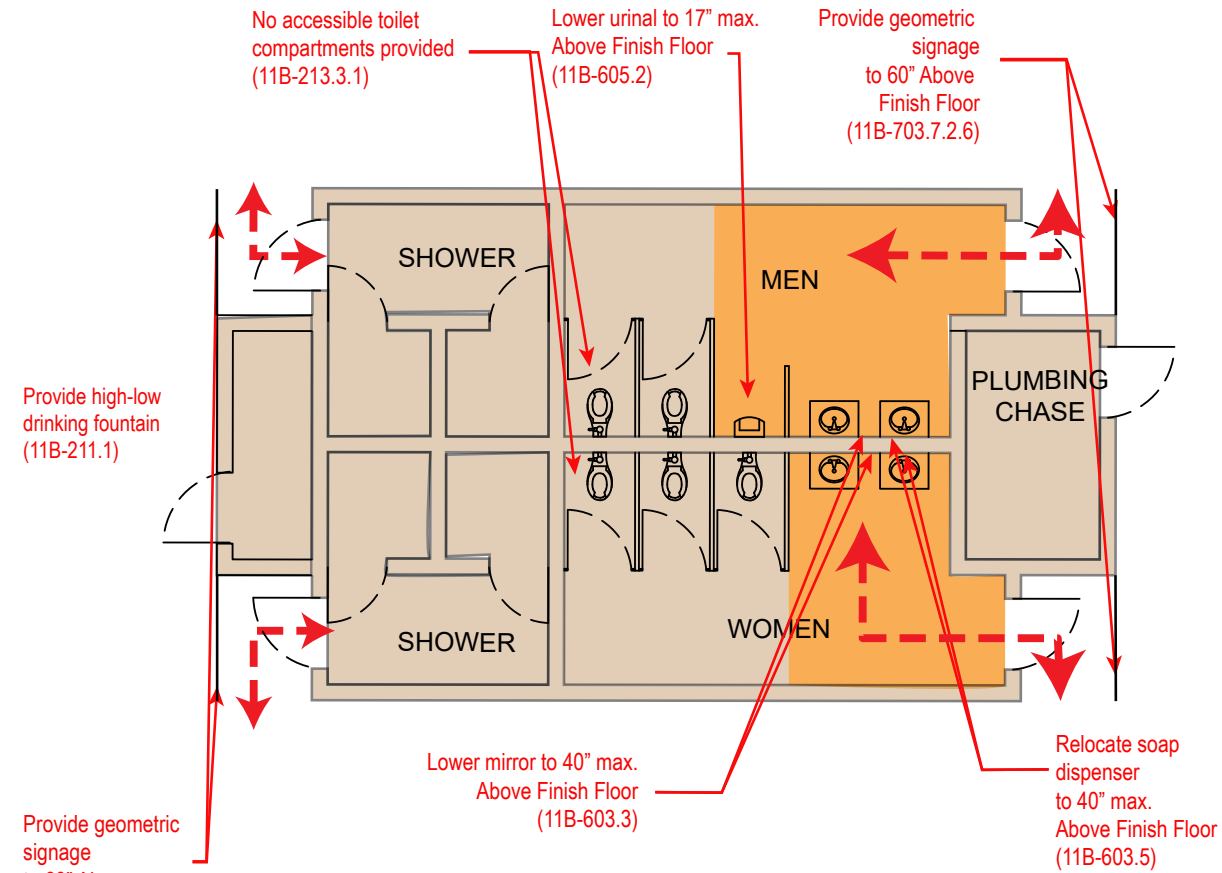
*ACTION ITEM 2.2.3: Provide wheelchair access for side approach at the barbecue, within the reach range requirements of CBC 11B-308.3*

### 2.3 TRAILS

McCall Memorial Park serves as a staging area and trailhead for many trails extending into the San Jacinto Mountains from the Park site. The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7)

*ACTION ITEM 2.3.1: Supplement existing trails to permit the ability for wheelchair occupants to use, in compliance with CBC 11B-246.7.*

# RESTROOM FLOOR PLAN



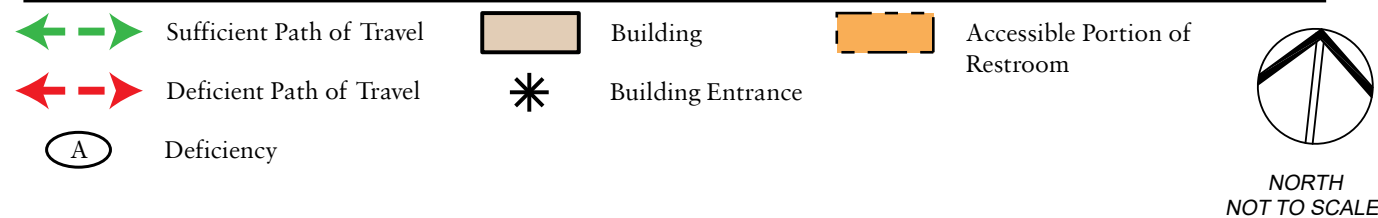
**Shower Notes:**

- Shower door opening too narrow
- Benches mounted too high, not deep enough
- Shower floor requires step to enter
- Towel hook too high
- Shower controls too high
- Excessive slopes to floor drains
- Soap rack too high

**General Notes:**

- Excessive slope and uneven concrete at perimeter
- Urinal partition obstructs accessible approach
- Sink too close to wall
- Paper towel dispenser too high
- Excessive floor slope near drains

**Legend**



## 3.0 BUILDINGS

There is currently a restroom building within McCall Park.

### 3.1 RESTROOM/ SHOWERS

This restroom is similar in appearance and construction to restroom buildings seen at Hurkey Creek Park.

*Notable Access Barriers:*

**General**

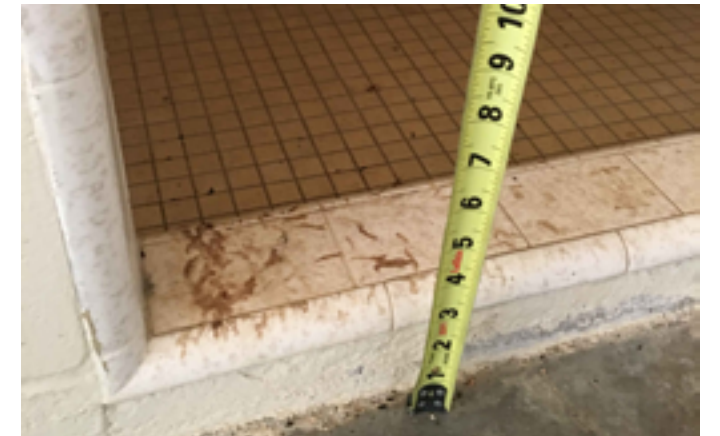
- Excessive slope and uneven concrete at restroom perimeter
- Missing Geometric Signage
- No accessible toilet rooms on either side (Men's nor Women's)
- Urinal partition impedes forward wheelchair approach
- Urinal rim too high
- Soap and mirrors too high above sink
- Sink too close to side wall
- Paper towels dispensing at 51" (40" max allowed)
- Drinking Fountain(s) missing from restroom exterior wall
- Excessive floor slope near drains (1:48 max allowed)

**Showers**

- Shower door opening too narrow
- Benches mounted too high, not deep enough
- Shower floor requires step to enter
- Towel hook mounted too high
- Shower controls too high
- Excessive slope to floor drains
- Soap rack too high



Exterior view of restroom.



Curb at shower entrance prevents wheelchair roll-in.

### 3.2 MAINTENANCE/ CARETAKER BUILDINGS

Not publicly accessed.





## SUMMARY OF CORRECTIVE ITEMS:

### MCCALL MEMORIAL PARK

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (3 total)	\$750	Immediate	
<b>1.0 PARKING</b>				
1.1.1	Provide (1) Designated Van Accessible Parking Space and Loading zone at middle lot; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2023	
1.1.2	Provide (1) Designated Van Accessible Parking Space and Loading zone at upper lot; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.	\$2,500	June 2025	
1.3.1	Renovate existing designated accessible parking space near restroom building for full compliance	\$2,500	June 2020	
<b>2.1 CAMPGROUND</b>				
2.1.1	Renovate (2) equestrian campsites near restroom to provide access within campsite and to restroom	\$15,000	June 2021	
2.1.1 interim	Provide Accessible Portable Restroom and hand washing station near two campsites until funding allows for major renovation efforts	\$2,000	Immediate	
<b>2.2 PICNIC AREA</b>				
2.2.1	Provide accessible connection to picnic areas from restroom and parking	\$20,000	June 2023	
2.2.2	Provide (2) accessible picnic tables	\$3,000	June 2023	
2.2.3	Provide wheelchair access to barbecue side approach	\$500	June 2023	
<b>2.3 PICNIC AREA</b>				
2.3.1	Supplement existing trails for partial wheelchair access	\$20,000	June 2025	
<b>3.1 RESTROOM/ SHOWERS</b>				
3.1.1	Existing restroom dimensions will require extensive retrofit to accommodate wheelchair users; new adjacent or replacement building recommended	\$250,000	June 2028	
3.1.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom	\$1,000	Immediate	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$319,750		





ACCESSIBILITY COMPLIANCE REPORT FOR:  
**RANCHO JURUPA PARK**

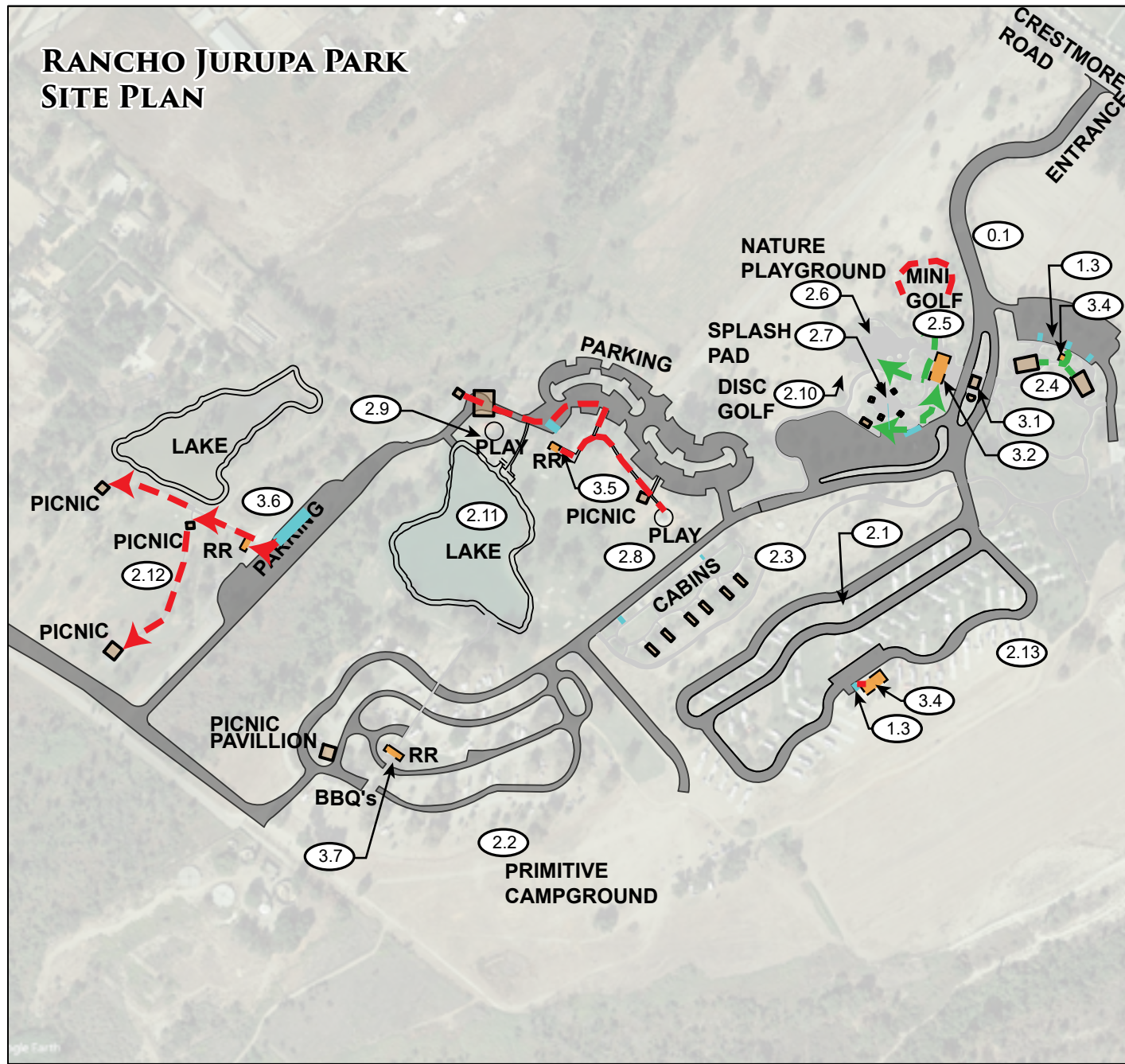
4800 Crestmore Road  
Jurupa Valley, CA 92509

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# RANCHO JURUPA PARK SITE PLAN



**Legend**

	Sufficient Path of Travel		Building		Restroom
	Deficient Path of Travel		Parking		Building Entrance
	Deficiency				

NORTH  
 NOT TO SCALE

## INTRODUCTION

Rancho Jurupa Park is located directly adjacent to Crestmore Manor in Jurupa Valley. The park site consists of RV and primitive/ equestrian campgrounds, fishing pond, splash pad, day use areas and trails. While the park is located in close proximity to a residential neighborhood, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Rancho Jurupa Park was performed on Friday, January 19, 2018, with a start time of approximately 9:30 am. Scott Rice, CASp-709 toured the facility with the Park Ranger on duty (Jack), under the remote direction of Dayna Whitaker, Park Area Manager.



*Pictured: Guard-controlled entrance. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Crestmore Road. Nowhere along this entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on the facility side of Crestmore Road, nor is a walkway provided. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is RTA. No existing routes travel past the entrance to the park site. The closest RTA route to the site is Route 49. The closest bus stop is located at Mission Boulevard and Crestmore Road, approximately 1.5 miles from Crestmore Manor.

*ACTION: No action required by ADA nor CBC at the time of this report.*





# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Rancho Jurupa Park includes a total of 543 marked off-street parking spaces, divided amongst seven paved parking lots at various locations throughout the park site, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
South of Splash Pad	98	87	7	0	4	4	1	1	Yes
North of Yellow Playground	105	104	0	0	1	5	0	1	No
Northwest of Red Playground	90	89	0	0	1	4	0	1	No
Near Picnic Lakes	100	96	0	0	4	4	1	1	Yes
Near Cabins	22	18	0	0	4	2	2	2	Yes
Near Primitive Campground Restroom	(Unpaved/ Non-marked parking)								
Near RV Campground Restroom	20	18	0	0	2	1	1	1	Yes
North of Day Use Picnic Area	108	102	0	0	6	5	2	3	No
<b>TOTAL</b>	<b>543</b>	<b>514</b>	<b>7</b>	<b>0</b>	<b>22</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Renovate existing Designated Accessible Parking Space and loading zone in the parking lot near the Yellow Playground to be Van Accessible in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.2: In addition to Action Item 1.1.1 above, provide four Standard Accessible Parking Spaces in the same lot, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.3: Renovate existing Designated Accessible Parking Space and loading zone in the parking lot near the Red Playground to be Van Accessible in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.4: In addition to Action Item 1.1.3 above, provide three Standard Accessible Parking Spaces in the same lot, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.5: Renovate existing Designated Accessible Parking Space and loading zone in the parking lot near the Large Group Picnic Shelters to be Van Accessible in compliance with CBC 11B-502.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at each of the various observed parking lots at Rancho Jurupa Park currently allow for accessible parking to be located in close proximity to the building and/or key amenity they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

All Designated Accessible Parking Spaces inspected generally met or exceeded the dimensions of 9' wide x 18' length. Two of the three Van Accessible space included an 8' wide access aisle/ loading zone, with the third measuring about 6" deficient in width. All parking signage appeared to be mounted at proper heights (80" clear when signage is placed within the accessible path/ 60" min. above finish floor to the bottom of the sign outside accessible paths). Loading zone diagonal striping was consistently observed at 3' on-center spacing. "NO PARKING" was only observed in 12" tall white painted letters at the loading areas near the splash pad and newer areas toward the park entry. International Symbol of Accessibility was provided at most Designated Accessible Parking Space. All Designated Accessible Parking Spaces and adjacent access aisles were mostly found to be compliant in slope (1:48 maximum). Detectable warning (truncated domes) were NOT provided in Federal Yellow color, with proper contrasting surface resiliency, between accessible walkways and adjacent parking/ vehicular areas, where these walkways had a zero-curb condition (walkway and parking meeting flush in elevation to one another). A few action items are noted :

*ACTION ITEM 1.3.1: Where deteriorating or missing altogether, provide "NO PARKING" in 12" tall characters at the leading edge of the passenger loading zones in compliance with CBC 11B-502.3.3.*

*ACTION ITEM 1.3.2: Provide "Minimum Fine: \$250" signage at DAPS where fine signage is not currently present as defined by CBC 11B-502.6.2; Recommendation is to replace all signage with the Caltrans R99 signage shown in*



*Faded ISA; no Detectable Warning at zero curb face.*



*Striping, "No Parking" wording, and International Symbol of Accessibility are in need of repainting near the splash pad.*



*Similar repainting efforts are needed near the large group picnic shelters.*





the beginning of this report. Signage shall maintain 60" min. clearance where signs are located outside accessible routes, and 80" min. clear where located within accessible routes, as per CBC 11B-502.6.

**ACTION ITEM 1.3.3:** Grind and overlay asphalt paving to eliminate areas exceeding 1:48, as per CBC 11B-502.4, Exception #1.



A variety of signage is provided near the Picnic Lakes restroom. Access aisles do not connect to accessible paths. "No Parking" designation is not present.



Designated Accessible Parking Spaces near Cabins.



Designated Accessible Parking Spaces near Yellow Playground.



Designated Accessible Parking Spaces near Red Playground.

## 2.0 SITE CIRCULATION AND AMENITIES

Rancho Jurupa Park provides 70 full hookup RV campsites and 61 sites with water and electricity only. California Building Code 11B-246.2 states that where camping facilities are provided, that at least two campsites and one additional campsite for each 100 campsites or fraction thereof, shall be accessed by and connected to sanitary facilities by travel routes with a maximum slope of 1:12.

### 2.1 COTTONWOOD RV CAMPGROUND

Cottonwood Campground currently provides two designated accessible campsites (#236 and #251) and an accessible restroom/ shower/ laundry building. Each designated accessible campsite is located nearest to the Cottonwood Restroom. However, Campsite #236 requires campers to cross a hazardous vehicular zone to reach the restroom, and a designated crossing is not present on a continuous accessible path.

**ACTION ITEM 2.1.1:** Construct an accessible route between Campsite #236 and the restroom facility, in full compliance with CBC 11B-246.2.

**ACTION ITEM 2.1.2:** Modify existing designated accessible campsites to provide full circulation clearances at provided picnic table.



Concrete pad does not provide proper wheelchair approach clearances at accessible picnic table within campsite.

### 2.2 LAKEVIEW AND PRIMITIVE CAMPGROUND

Lakeview campground provides partial hookup RV and tent campsites, as well as a restroom/ shower building and picnic shelter. The primitive site is within walking distance of these amenities that is not on a continuous accessible path.

**ACTION ITEM 2.2.1:** Renovate one campsite in a location near restroom/ shower facilities to meet the full requirements of CBC 11B-246.2.



Outdoor sink is above acceptable reach ranges, and does not provide knee/ toe clearance for forward wheelchair approach.



Picnic shelter does not have an accessible table, nor proper circulation clearance between tables.



## 2.2 LAKEVIEW AND PRIMITIVE CAMPGROUND (CONTINUED)

*ACTION ITEM 2.2.2: Provide an accessible route between designated accessible campsites and the closest adjacent sanitary facilities, as required by CBC-246.2.*

*ACTION ITEM 2.2.3: Construct an accessible route between primitive campsite and the restroom facility, in full compliance with CBC 11B-246.2.*

*ACTION ITEM 2.2.4: Renovate outdoor sink to provide knee and toe clearance in full compliance with CBC 11B-606.2, and height requirements of 11B-606.3.*

*ACTION ITEM 2.2.5: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

## 2.3 CABINS

One cabin has been provided with a ramp in place of stairs. There appears to be a continuous path from the closest Designated Accessible Parking Spaces to the cabins.

*ACTION: No action required by ADA nor CBC at the time of this report.*



Concrete pad does not provide proper wheelchair approach clearances at accessible picnic table within campsite.

## 2.4 GROUP PICNIC AREA

There is a large group picnic area located between the park entry and Crestmore Manor, consisting of two large shelters, barbecues, and a restroom building.



Pictured: Acom Shelter.



Pictured: Pecan Shelter, and accessible route from closest Designated Accessible Parking Spaces.



Tables are not permanently mounted, so the layout observed during the site visit may not reflect day-to-day layout.



Existing barbecues allow forward and side wheelchair approach options.

*ACTION ITEM 2.4.5: Provide at least one accessible picnic table in each grouping of 20 tables, or fraction thereof, in compliance with CBC 11B-246.5 and CBC 11B-902.*



## 2.5 MINIATURE GOLF COURSE

There are specific accessibility requirements for miniature golf courses identified in CBC 11B-239 and 11B-1007. At least 50 percent of holes are required to meet accessibility requirements, and the designated accessible holes must be consecutive. The apparent layout of accessible holes at Rancho Jurupa is 1- 5, then 15-18, for a total of 9 of 18 holes. The following action items were noted on the designated accessible holes:

*ACTION ITEM 2.5.1: Renovate Hole 5 bypass walkway to meet full requirements for ramps, as per CBC 11B-405, or reroute walkway so that the running slope does not exceed 1:20.*

*ACTION ITEM 2.5.2: Remove signage stating "HANDICAP" and replace with the word "ACCESSIBLE", or just show the International Symbol of Accessibility with the arrow. Per CBC 11B-703.5.6, visual characters on directional signage shall be mounted at least 40 inches above finish floor or ground.*

*ACTION ITEM 2.5.3: Renovate Hole 17 to provide fully accessible features. There is currently a narrow portion of green that is not located with club reach ranges for a wheelchair, unless the wheelchair mounts the brick edging into a non-accessible surface.*



Hole 5 bypass walkway exceeds maximum allowable running slope for walks, and should be reconstructed as a ramp.



Replace signage to eliminate outdated "Handicap" terminology. The currently accepted term is "Accessible."



The narrow portion of green above is not accessible by wheelchair, despite being on a designated accessible hole (#17)

## 2.6 NATURAL PLAYGROUND

The natural playground provides opportunities for tactile and reach play among accessible rubber safety surfacing.

*ACTION ITEM 2.6.1: Provide clear floor or ground space positioned at the end of the bench seat and parallel to the short axis of the bench per CBC 11B-903.2 and 11B-305.*

*ACTION ITEM 2.6.2: Replace benches with models that are 20" deep minimum, as per CBC 11B-903.3.*



Wheelchair companion seating is not present next to provided benches at playground perimeter.

## 2.7 SPLASH PAD

The splash pad at Rancho Jurupa Park provides a variety of picnic shelters at the perimeter, as well as outdoor showers with actuator buttons within acceptable reach ranges. A few action items were noted:

*ACTION ITEM 2.7.1: Adjust picnic table locations to accommodate wheelchair approach, as per CBC 11B-305.*

*ACTION ITEM 2.7.2: Provide contrasting stripes at each transfer step, as per CBC 11B-1008.3.2.4*

*ACTION ITEM 2.7.3: Raise sign to provide vertical clearance above walkway, as per CBC 11B-307.4.*

*ACTION ITEM 2.7.4: Fix vertical gaps where unit pavers and concrete walks meet, as per CBC 11B-303.2.*



Circular benches do not accommodate wheelchair users.



Signage overhangs above the walkway edge at 78" as measured in field. 80" min. clearance is required.



Wheelchair approach space clearances are not sufficient due to proximity of shelter posts.



Transfer step does not have contrasting color stripe.



## 2.8 YELLOW PLAYGROUND

The yellow playground includes a play structure set in loose wood fiber surfacing. There is an adjacent picnic shelter, barbecue, loose picnic tables, and a concrete walkway connecting to nearby parking and other amenities.



Pictured: Yellow Playground

*ACTION ITEM 2.8.1: Maintain wood playground mulch at heights and surface continuity to allow accessible connectivity between play components, and at proper heights for transfer points and slide exits, in full compliance with CBC 11B-1008.2; Since frequent maintenance of playground surface is required by CBC 11B-1008.2.6.1, the installation of rubber safety surfacing to provide an accessible path to all accessible ground level play features and transfer stations is recommended.*

*ACTION ITEM 2.8.2: Provide contrasting stripe at each transfer step on the playground, as per CBC 11B-1008.3.2.4*

*ACTION ITEM 2.8.3: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.8.4: Remove existing drinking fountain and replace with a high/low unit, in compliance with the full requirements of CBC 11B-602.*

*ACTION ITEM 2.8.5: Provide wheelchair access for side approach at the barbecue, within the reach range requirements of CBC 11B-308.3*



Pictured: Red Playground

## 2.9 RED PLAYGROUND

The amenities provided and action items noted at the red playground are consistent with the yellow playground.

*ACTION ITEM 2.9: Apply all Action items from 2.8 above.*

## 2.10 DISC GOLF

A disc golf course is provided at Rancho Jurupa, but is generally not accessible beyond the seating area near the 1st tee.

*ACTION ITEM 2.10: Plan for future improvements that provide at least one target that is within a generally accessible area.*



Pictured: Start of Disc Golf Course near Nature Playground.

## 2.11 FISHING POND

There are a few areas around the pond that offer level concrete pads and railing to assist in fishing from wheelchairs.

*ACTION ITEM 2.11.1: Maintain access to these fishing spots from nearest Designated Accessible Parking Spaces. A few uplifted sidewalk segments were observed near the Red Playground restroom building.*

*ACTION ITEM 2.11.2: Modify guard rail to comply with the requirements of CBC 11B-1005.2.1, which states that at least 25 percent of the railings shall be 34 inches maximum above the ground surface.*

## 2.12 ADDITIONAL PICNIC AREAS

There are three additional picnic shelters located near the southwestern end of the park site, in the Picnic Lakes area.

*ACTION ITEM 2.13.1: Provide an accessible connection to Shelter #2 and 3 from the designated accessible parking spaces, in compliance with CBC 11B-206 and 11B-246.5.*

*ACTION ITEM 2.13.2: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.13.3: Provide wheelchair access for side approach at the barbecue, within the reach range requirements of CBC 11B-308.3*

*ACTION ITEM 2.13.4: Renovate concrete slabs to eliminate changes in level, wide cracks, etc., in full compliance with CBC 11B-302.*

## 2.13 TRAILS

Rancho Jurupa Park serves as a staging area and trailhead for trails extending into the Santa Ana Riverbed from the Park site. The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7)

*ACTION ITEM 2.13.1: Supplement existing trails to permit the ability for wheelchair occupants to use, in compliance with CBC 11B-246.7.*



Pictured: Picnic tables near fishing pond.



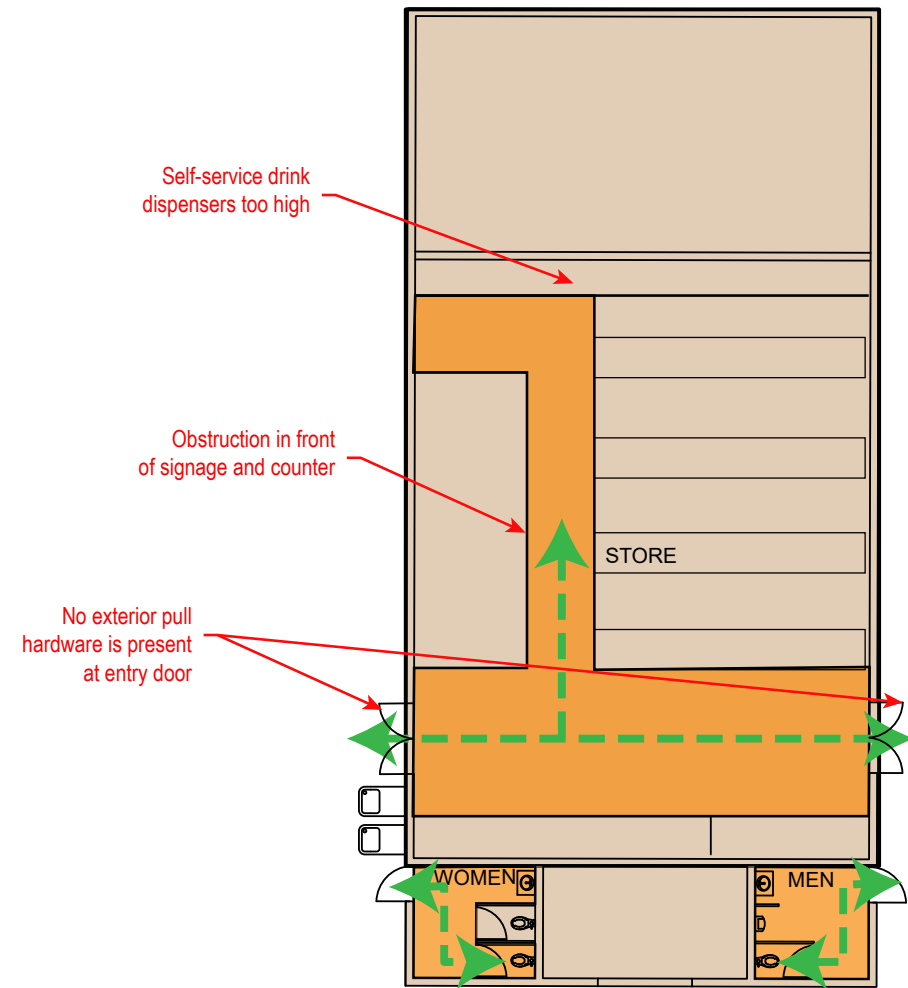
Pictured: Wheelchair accessible fishing spot at pond.



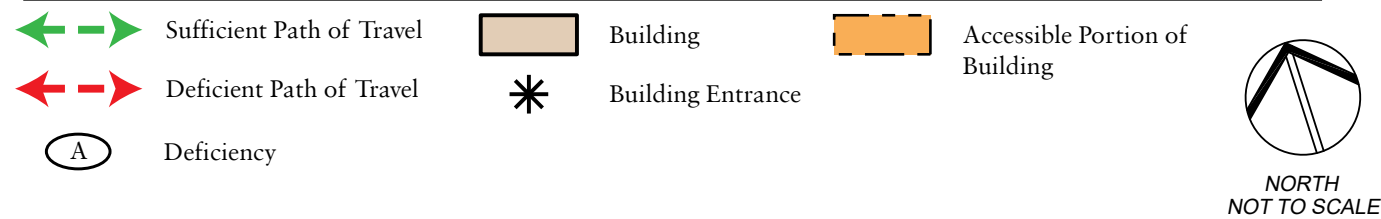
Additional picnic shelters within Day Use Areas near the southwestern end of the park.



# CAMP STORE FLOOR PLAN



## Legend



## 3.0 BUILDINGS

There is currently a lot of buildings within Rancho Jurupa Park.

### 3.1 ENTRY KIOSK

The Entry gate kiosk is not a publicly accessed building. The County employee accommodates park patrons at their vehicle.

*ACTION: No action required by ADA nor CBC at the time of this report.*



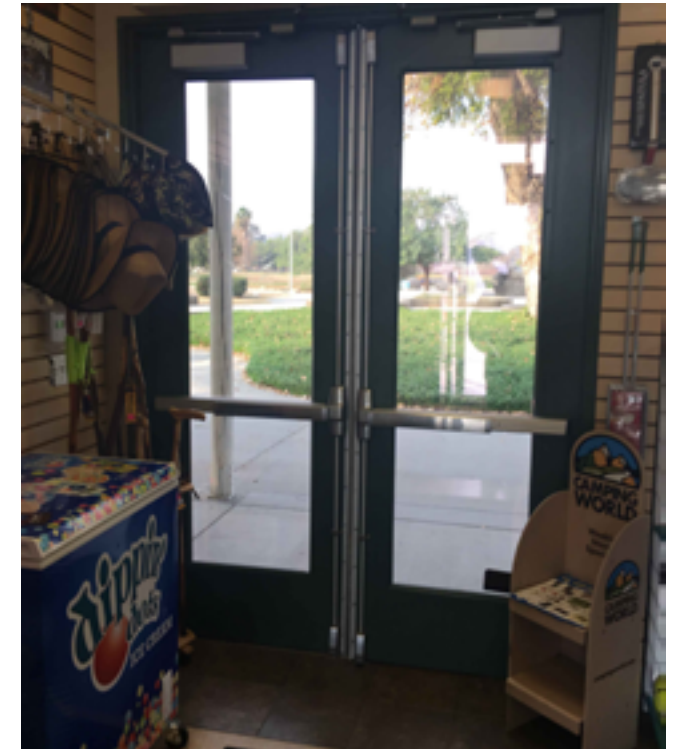
### 3.2 CAMP STORE

The camp store provides restrooms and a convenience store.

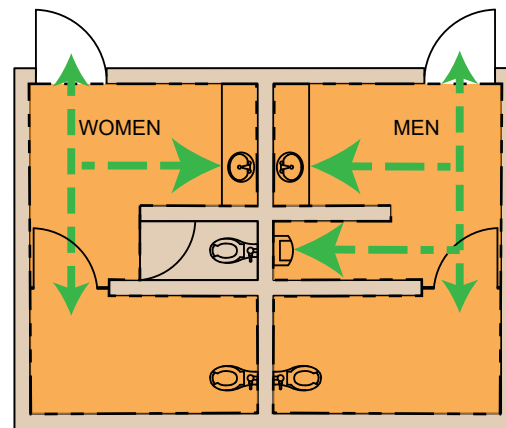
#### Notable Access Barriers:

Restrooms - appear generally compliant  
Convenience store:

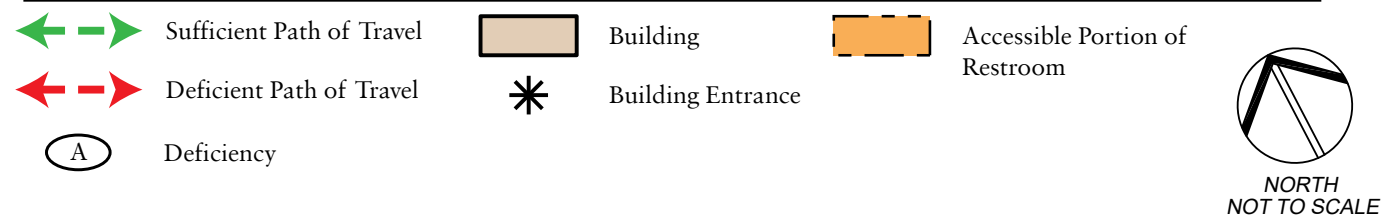
- Remove obstructions near doors and sales counter
- Self-service drink dispensers too high
- No exterior pull hardware is present at entry door



## DAY USE RESTROOM FLOOR PLAN



### Legend

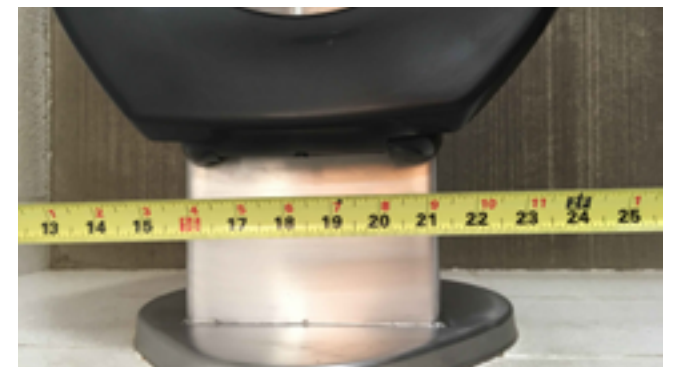


### 3.3 DAY USE RESTROOM

This building appears to be a fairly new model of pre-fabricated restroom, which appeared generally compliant with current accessibility requirements on spot checking of key dimensions.



Restroom, as viewed from parking.



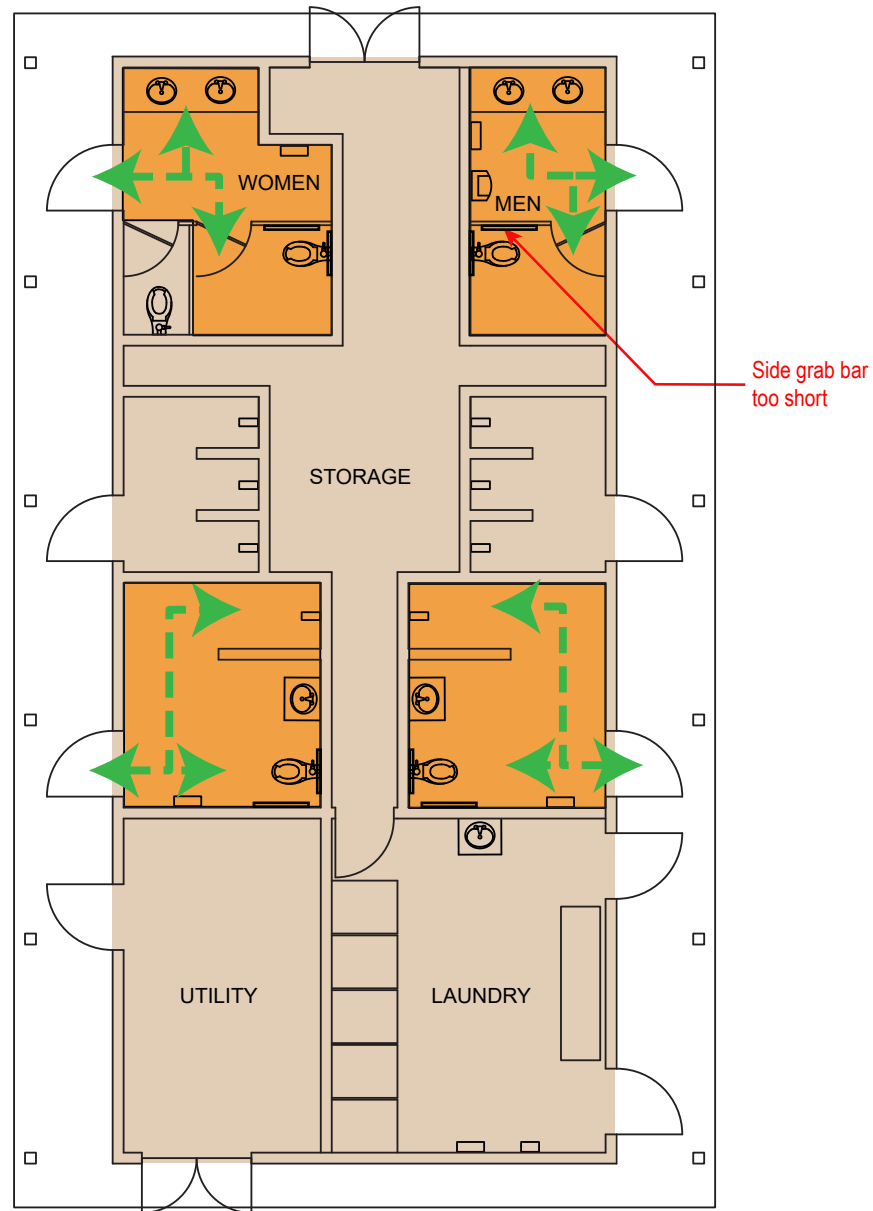
Toilet appears to be approximately 1/2" too far from wall, but should be acceptable as installed.



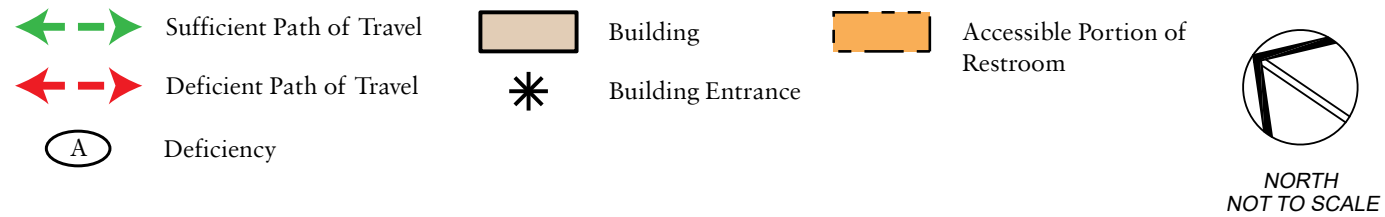
Pictogram signage at proper location.



# RV CAMPGROUND RESTROOM FLOOR PLAN



### Legend



## 3.4 RV CAMPGROUND RESTROOM

This building provides restroom, showers, and laundry. Remodeling efforts of the showers were underway at the time of inspection.

### Notable Access Barriers:

#### General

- Side grab bar too short in one restroom

#### Showers

- Generally appeared compliant; need to recheck after remodeling is complete

#### Laundry

- Generally appeared compliant; need to recheck after remodeling is complete



Restroom/ Shower exterior view.

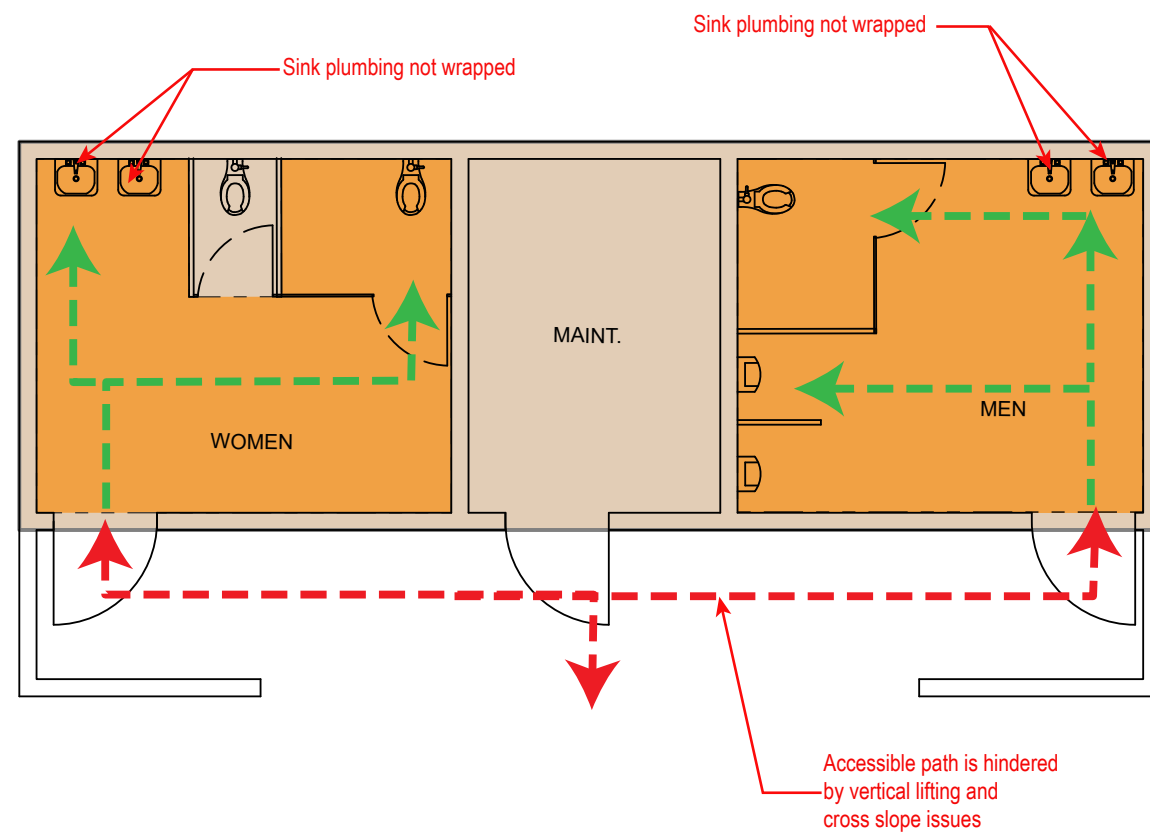


Restroom/ Shower interior view.

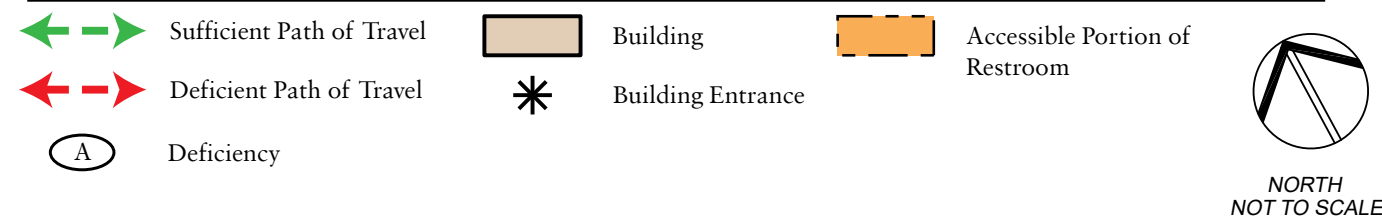


Laundry room interior view.

# FISHING RESTROOM FLOOR PLAN



## Legend



## 3.5 FISHING RESTROOM

This restroom building reflected older construction, yet exhibited fair attention to detail on accessibility related improvements.

### Notable Access Barriers:

#### General

- Accessible path is hindered by vertical lifting and cross slope issues between restroom and parking
- Sink plumbing not wrapped



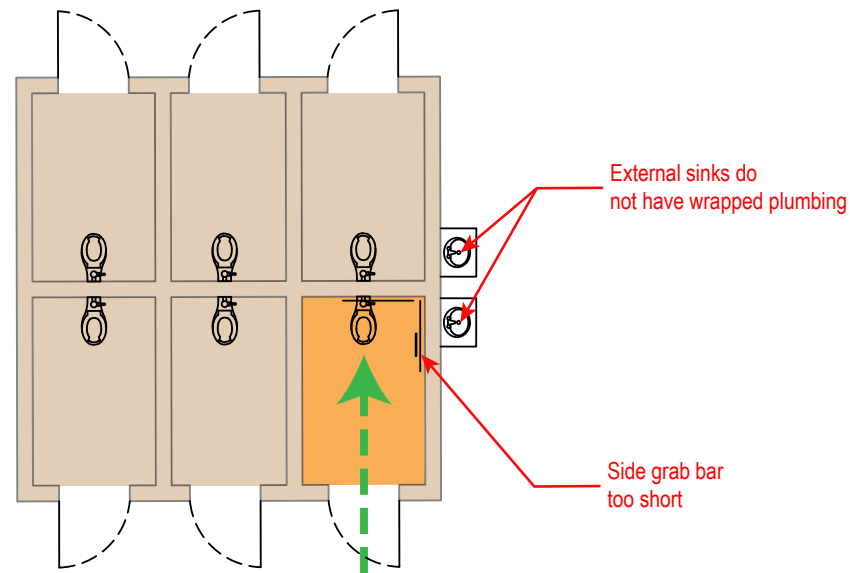
Restroom exterior view.



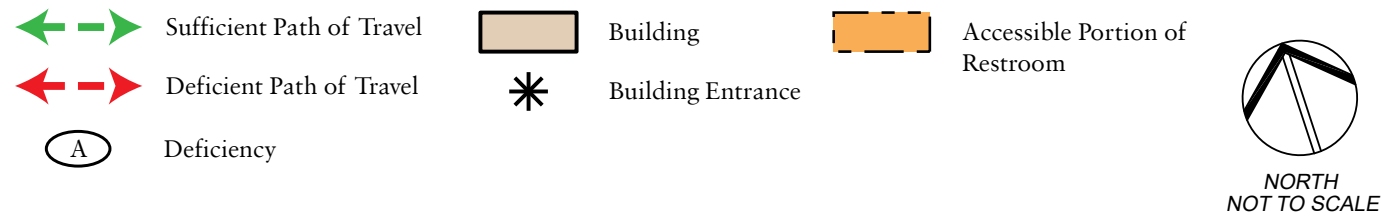
Restroom interior view.



# PICNIC LAKE RESTROOM FLOOR PLAN



### Legend



## 3.6 PICNIC LAKE RESTROOM

This older building consists of six individual gender-neutral single user restroom compartments. One room displays an International Symbol of Accessibility on the pictogram signage, and has evidence of accessible features.

### Notable Access Barriers:

#### General

- Side grab bar too short in accessible room
- External sinks do not have wrapped plumbing.



Restroom exterior view.

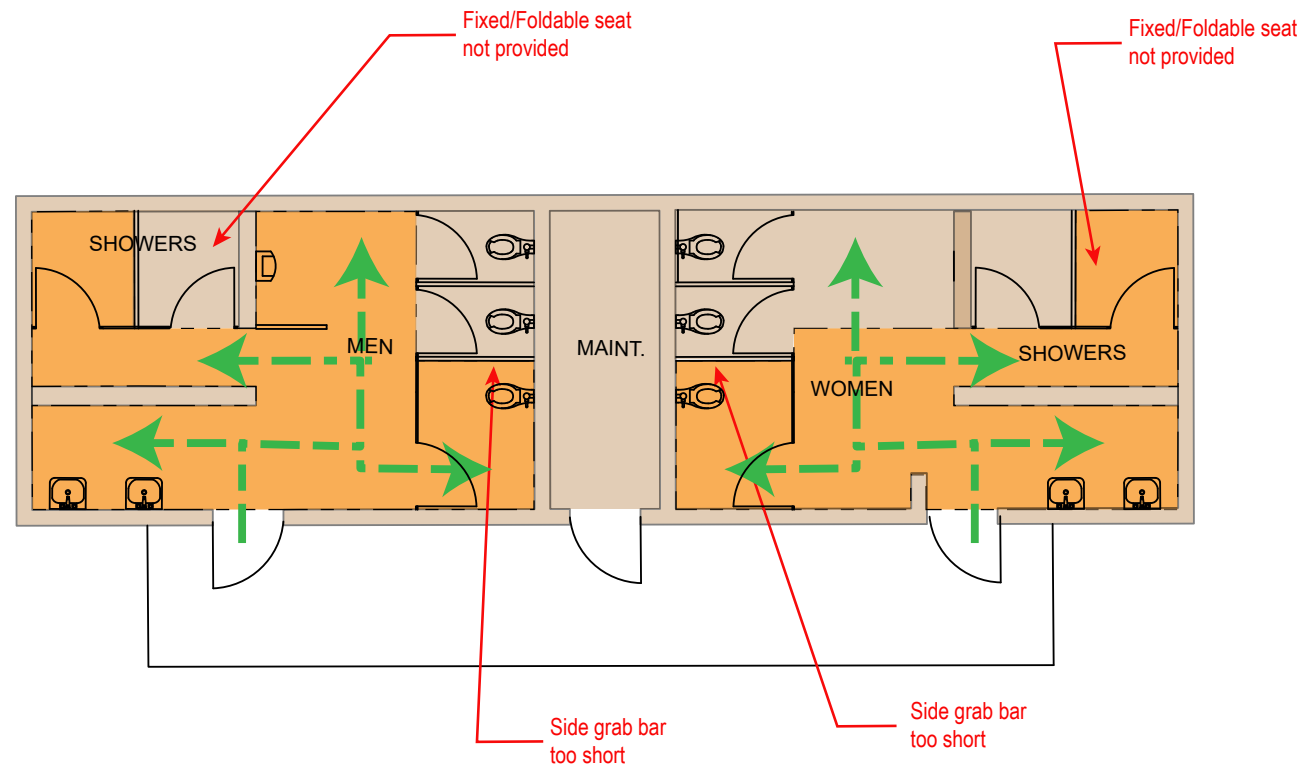


Geometric signage at proper height.

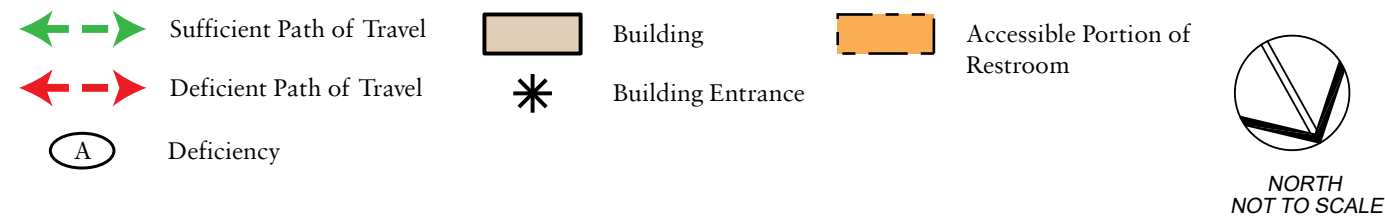


Pictogram signage mounted slightly too high.

## PRIMITIVE CAMPGROUND RESTROOM FLOOR PLAN



### Legend



## 3.7 LAKEVIEW CAMPGROUND RESTROOM

This older building provides restrooms and showers.

### Notable Access Barriers:

#### General

- Side grab bar too short in accessible room
- Sinks do not have wrapped plumbing.

#### Showers

- Fixed/ foldable seat not provided.



Restroom exterior view.



Shower view.



## SUMMARY OF CORRECTIVE ITEMS:

### RANCHO JURUPA REGIONAL PARK

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (10 recommended)	\$2,500	Immediate	
<b>1.0 PARKING</b>				
1.1.1, 1.1.2	Provide (1) Designated Van Accessible Parking Space and Loading zone in Parking lot near Yellow playground; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.; also provide (4) standard accessible parking spaces	\$15,000	June 2021	
1.1.3, 1.1.4	Provide (1) Designated Van Accessible Parking Space and Loading zone in Parking lot near Red playground; will require asphalt resurfacing - assume 500 SF, signage, striping, etc.; also provide (3) standard accessible parking spaces	\$12,000	June 2021	
1.1.5	Renovate (1) existing space in Parking lot near Large Group picnic shelters; will require asphalt resurfacing - assume 300 SF, signage, striping, etc.	\$1,500	June 2019	
1.3.1	Restripe/ relabel "NO PARKING" at various locations	\$1,000	June 2019	
1.3.2	Provide "MINIMUM FINE \$250" signs/ replace with Caltrans R99 signage (typ. 22 existing places)	\$5,000	December 2018	
1.3.3	Grind/ overlay excess slope areas within spaces	\$2,500	June 2020	
<b>2.1 COTTONWOOD CAMPGROUND</b>				
2.1.1	Construct accessible route between campsite #236 and restroom	\$20,000	June 2021	
2.1.1 interim	Provide Accessible Portable Restroom and hand washing station near two campsites until funding allows for major renovation efforts	\$2,000	Immediate	
2.1.2	Modify existing designated accessible campsite to provide full circulation and clearances	\$5,000	June 2021	
<b>2.2 LAKEVIEW AND PRIMITIVE CAMPGROUNDS</b>				
2.2.1	Renovate one campsite with accessible features and connection to sanitary facilities	\$12,500	June 2023	
2.2.1 interim	Provide Accessible Portable Restroom and hand washing station near one campsite until funding allows for major renovation efforts	\$2,000	Immediate	
2.2.2, 2.2.3	Extend accessible walkway to restroom at Campground	\$30,000	June 2023	
2.2.4	Renovate outdoor sink area	\$5,000	June 2023	
2.2.5	Replace one picnic table with compliant model at shelter	\$1,500	June 2023	
<b>2.4 GROUP PICNIC AREA</b>				
2.4.1	Provide accessible picnic table at shelter (2)	\$3,000	June 2023	
<b>2.5 MINIATURE GOLF COURSE</b>				
2.5.1	Renovate hole #5 bypass to meet slope requirements	\$5,000	June 2020	
2.5.2	Remove/ replace directional signage	\$500	June 2020	
2.5.3	Renovate hole #17 to provide fully accessible features	\$5,000	June 2020	
<b>2.6 NATURAL PLAYGROUND</b>				
2.6.1	Provide clear floor space at bench for wheelchair	\$500	June 2020	

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
2.6.2	Replace (3) benches with accessible models	\$4,000	June 2020	
<b>2.7 SPLASH PAD</b>				
2.7.1	Adjust picnic table locations to accommodate wheelchair approach	\$1,000	June 2019	
2.7.2	Provide contrasting stripes at transfer steps	\$150	Immediate	
2.7.3	Raise sign to provide overhead clearance	\$250	Immediate	
2.7.4	Fix vertical gaps at unit pavers vs. concrete	\$2,500	December 2018	
<b>2.8 YELLOW PLAYGROUND</b>				
2.8.1	Replace wood mulch with poured-in-place rubber surfacing within span of ground level accessible features (anticipate 2,500 SF)	\$40,000	June 2021	
2.8.2	Provide contrasting stripes at transfer steps	\$150	Immediate	
2.8.3	Provide (1) accessible picnic table	\$1,500	June 2021	
2.8.4	Remove/ replace drinking fountain with high/low model	\$5,000	June 2021	
2.8.5	Provide wheelchair access side approach to barbecue	\$500	June 2021	
<b>2.9 RED PLAYGROUND</b>				
2.9.1	Replace wood mulch with poured-in-place rubber surfacing within span of ground level accessible features (anticipate 2,500 SF)	\$40,000	June 2023	
2.9.2	Provide contrasting stripes at transfer steps	\$150	Immediate	
2.9.3	Provide (1) accessible picnic table	\$1,500	June 2023	
2.9.4	Remove/ replace drinking fountain with high/low model	\$5,000	June 2023	
2.9.5	Provide wheelchair access side approach to barbecue	\$500	June 2023	
<b>2.10 DISC GOLF</b>				
2.10.1	Provide partial accessible disc golf hole sequence with compliant walks	\$50,000	June 2025	
<b>2.11 FISHING POND</b>				
2.11.1	Fix issues with accessible walkways between parking, restrooms, and pond	\$25,000	June 2023	
<b>2.12 ADDITIONAL PICNIC AREAS</b>				
2.13.1	Provide access walk to shelters 2 and 3 at Picnic Lakes	\$50,000	June 2023	
2.13.2	Provide (3) accessible tables	\$5,000	June 2023	
2.13.3	Provide wheelchair access side approach to barbecue	\$500	June 2023	
2.13.4	Fix issues with accessible walkways between parking, restrooms	\$5,000	June 2023	
<b>2.13 TRAILS</b>				
2.13.1	Provide partial wheelchair access to trails	\$10,000	June 2027	
<b>3.2 CAMP STORE</b>				
3.2.1	Various minor repairs - see report	\$2,500	December 2018	
<b>3.4 RV CAMPGROUND RESTROOM</b>				
3.4.1	Various minor repairs - see report	\$2,500	December 2018	
<b>3.5 FISHING RESTROOM</b>				
3.5.1	Various minor/ moderate repairs - see report	\$5,000	June 2019	
<b>3.6 PICNIC LAKES RESTROOM</b>				
3.6.1	Various minor repairs - see report	\$1,000	June 2019	



ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
3.7 LAKEVIEW RESTROOM				
3.7.1	Various minor/ moderate repairs - see report	\$10,000	June 2020	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$400,200		



Modify guard rail to comply with the requirements of CBC 11B-1005.2.1, which states that at least 25 percent of the railings shall be 34 inches maximum above the ground surface.

L







ACCESSIBILITY COMPLIANCE REPORT FOR:  
**HIDDEN VALLEY WILDLIFE AREA**

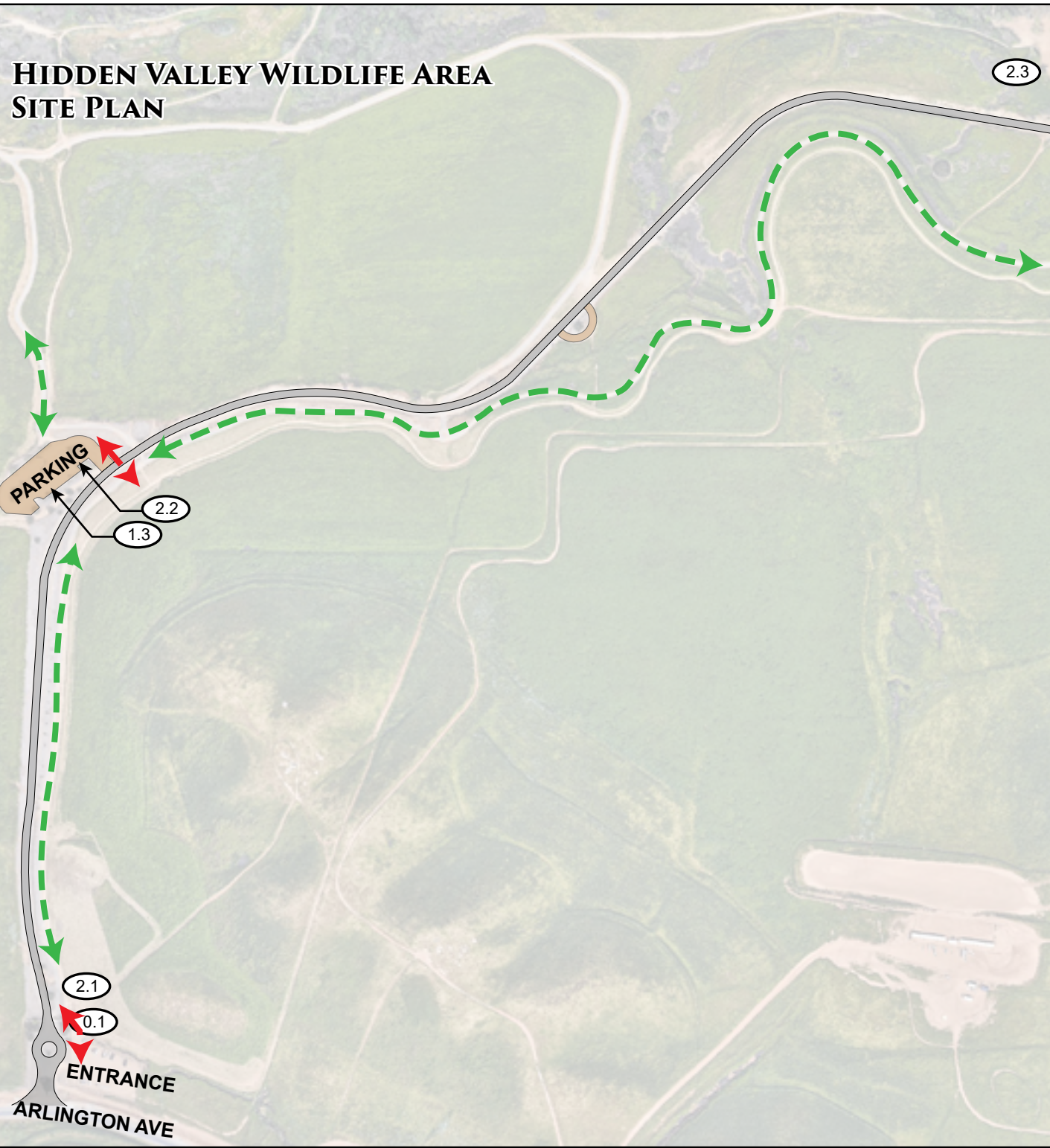
11401 Arlington Avenue  
Riverside, CA 92505

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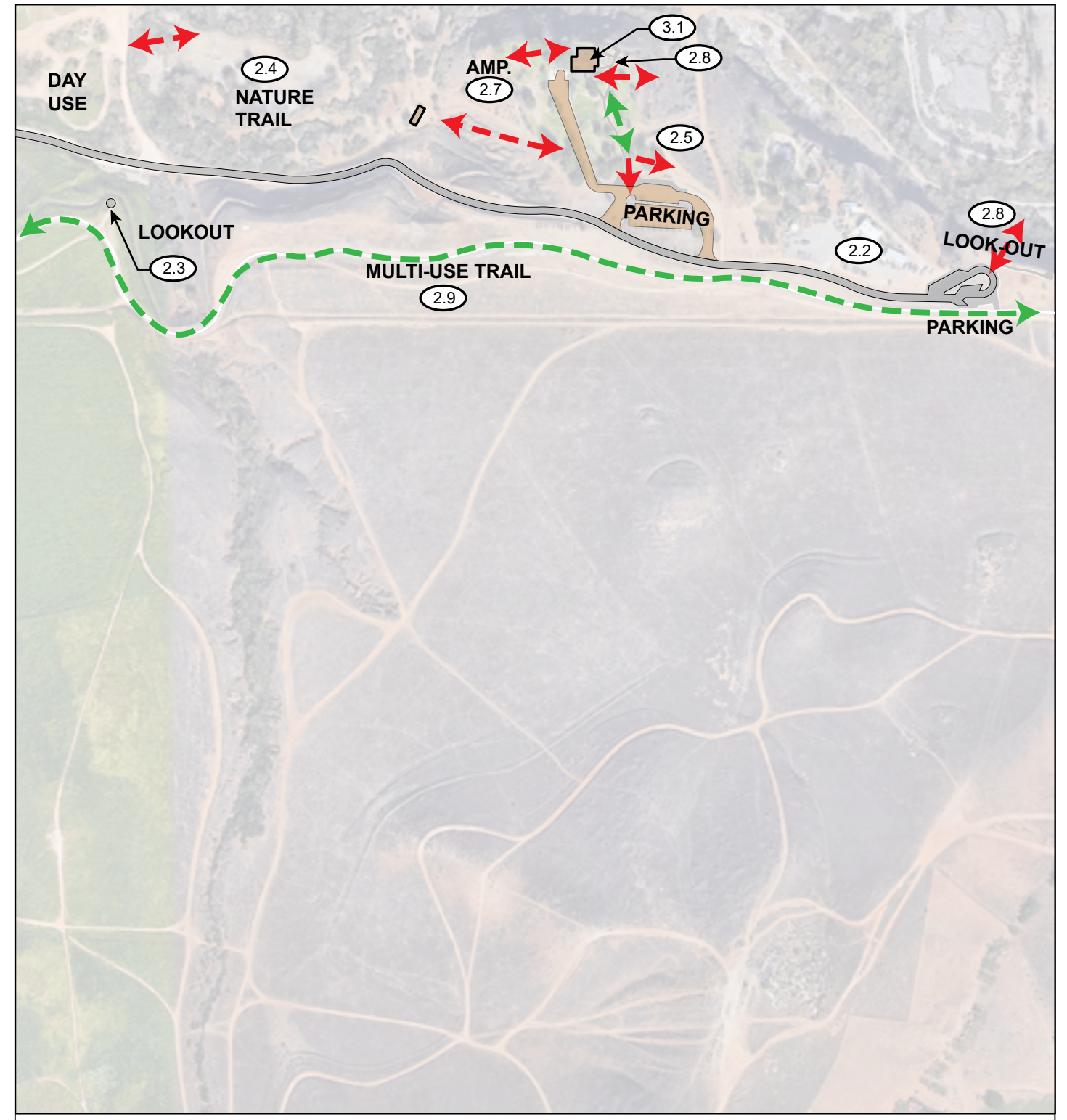


# HIDDEN VALLEY WILDLIFE AREA SITE PLAN



### Legend

- Sufficient Path of Travel
- Deficient Path of Travel
- Deficiency
- Building
- Parking
- Restroom
- Building Entrance
- NORTH  
NOT TO SCALE



### Legend

- Sufficient Path of Travel
- Deficient Path of Travel
- Deficiency
- Building
- Parking
- Restroom
- Building Entrance
- NORTH  
NOT TO SCALE





## INTRODUCTION

Hidden Valley Wildlife Area is located along the southern banks of the Santa Ana River, occupying the rural area between Riverside, Norco and Jurupa Valley. The facility consists of trailheads, off-street parking areas, equestrian staging areas, a nature center, trails, and other park amenities. Visitors to the site primarily arrive by private vehicle, but also enter the site by way of the Santa Ana River Multi-Use Trail.



*Pictured: Entry drive from Arlington Avenue into Hidden Valley Wildlife Area. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

The accessibility compliance inspection was performed on Wednesday, January 17, 2018, with a start time of approximately 9:30 am. Scott Rice, CASp-709 toured the facility with remote coordination of Oscar Serrato, Park Ranger.

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Arlington Avenue. Nowhere along this paved entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on either side of Arlington Avenue, nor is a walkway provided. However, pedestrian walk-in entry is possible from the east by way of the Santa Ana River Multi-Use Trail. Within the site, pedestrian access first becomes apparent where the multi-use trail intersects the entry drive. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is RTA. No existing routes travel past the entrance to the park site. The closest RTA route to the site is Route 21, with the closest bus stop located near the intersection of Van Buren at Jurupa, approximately 2.4 miles from Hidden Valley Wildlife Area.

*ACTION: No action required by ADA nor CBC at the time of this report.*

## 1.0 PARKING ANALYSIS

### 1.1 OVERVIEW OF OFF-STREET PARKING

Hidden Valley Nature Center includes a total of 110 marked off-street parking spaces, divided amongst three paved parking lots at various locations throughout the park site, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Near Park Entrance	(Unpaved/ Non-marked parking)								
West Trailhead Parking	43	43	0	0	0	2	0	1	No
Day Use Area	(Unpaved/ Non-marked parking)								
Near Nature Center	48	44	0	0	4	2	0	1	No
Turnaround/ Drop Off Area	19	18	0	0	1	1	1	1	Yes
Day Worker/ Equestrian Staging	(Unpaved/ Non-marked parking)								
<b>TOTAL</b>	<b>110</b>	<b>105</b>	<b>0</b>	<b>0</b>	<b>5</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Provide one Designated Van-Accessible Parking Space in the West Trailhead Parking Lot, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.2: Provide one Designated Van-Accessible Parking Space in the Nature Center Parking lot, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.3: In addition to Action Item 1.1.2 above, provide one Standard Accessible Parking Space in the Nature Center Parking lot, in compliance with CBC 11B-502.*

### 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at each of the parking lots at Hidden Valley currently allow for accessible parking to be located in close proximity to the building and/or key amenity they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

### 1.3 CONDITION OF ACCESSIBLE PARKING

Most parking across the site is partially improved. Only one Designated Accessible Parking Space was provided on concrete, with a loading zone, curb ramp, etc. See action items on the following page:

*ACTION ITEM 1.3.1: Provide Designated Accessible Parking Spaces on firm, stable surfaces, capable of being striped and painted in compliance with CBC 11B-502.*

*ACTION ITEM 1.3.2: Provide access aisles and loading zones to create an accessible path that does not cause wheelchair users to pass behind any vehicles other than their own. Connect accessible routes to the park amenities and/or buildings which they are intended to serve.*



No loading zones; no striping, bad signs.



One Designated Accessible Parking space was provided with the applicable access aisle and curb ramp.



Example of excessive slope observed at the curb ramp.

## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 ENTRANCE AREA

There is an unimproved parking area at the park entrance, that provides pedestrian access to hiking trails, bicycle/ multi-use paths, and a picnic table.

*ACTION ITEM 2.1.1: Provide an accessible path between a Designated Accessible Parking Space and the park amenities provided.*

*ACTION ITEM 2.1.2: Once a Designated Accessible Parking space and accessible path is provided, replace the picnic table with an accessible model.*



Pedestrian and equestrian entrance point.



A picnic table and trash receptacle are provided near the park entrance, but are not on an accessible surface nor path.

### 2.2 STAGING AREA

Some amenities are provided, such as picnic tables and a portable (non-accessible) toilet at the staging area.

*ACTION ITEM 2.2.1: See items 2.1 above.*

*ACTION ITEM 2.2.2: Where a portable toilet is provided, it shall be accessible. Replace current model with a wheelchair-accessible unit.*



A picnic table and trash receptacle are provided near the park entrance, but are not on an accessible surface nor path.



### 2.3 DAY USE AREA

There are a variety of picnic tables, portable toilets and other similar amenities within this area. These are subject to the same actions noted in 2.1 and 2.2

*ACTION ITEM 2.3.1: See all action items noted for 2.1 and 2.2.*



### 2.4 NATURE TRAIL

The Nature Trail is accessed primarily from the Nature Center parking area, but extends to the Day Use area noted in 2.3. The trail requires descending a very steep dirt pathway not suitable for wheelchair users. The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7)

*ACTION ITEM 2.4.1: Supplement existing trail to permit the ability for wheelchair occupants to use, in compliance with CBC 11B-246.7.*



*Pictured: Map of Nature Trail route, as provided near Nature Center.*



*An informational message board is provided near the Day Use Area, but is not currently loaded with information readable from wheelchair level.*

### 2.5 INTERACTIVE PLAY ZONE

The Nature's Pathway area has several slope issues, pinch points impeding wheelchair travel, changes in vertical level without the presence of ramps, reach range issues to various interactive features, no wheelchair space near benches, non-compliant picnic tables, and much more.

*ACTION ITEM 2.5: Develop a long-term strategy for converting this area and its interactive features into a fully-accessible area.*



*An irrigation dripline runs across a gap between paving materials at the entrance to the "Nature's Pathway" area, effectively preventing wheelchair access into the space.*



*Many interactive features have several barriers to accessibility, such as this viewing scope mounted above reach range, and mounted on a raised platform with no ramp.*



*This water feature makes no provisions for wheelchair occupants.*

### 2.6 AREA IN FRONT OF NATURE CENTER

Several groupings of picnic tables are present in the lawn outside the Nature Center building. Portable restrooms are also provided, but are not accessible.

*ACTION ITEM 2.6.1: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.6.2: Where portable toilets are provided, at least one shall be accessible. Replace current model with a wheelchair-accessible unit.*



*Picnic tables under shade trees in front of the Nature Center. Portable restrooms do not include wheelchair accessible models.*



## 2.7 AMPHITHEATER

The amphitheater provides tiered bench seating, but benches have no backs and no access nor provisions are made for wheelchair users.



*ACTION ITEM 2.7: Develop a long-term strategy for converting this area and its interactive features into a fully-accessible area.*

## 2.8 LOOKOUT AREAS

There are three distinct lookout vista points, each providing signage that showcases history and natural features within view of the park site. All three lookout areas have slopes that exceed allowable steepness for wheelchair access.



*Each of the three lookout areas have similar signage; two sites are on concrete, while the third is Decomposed Granite.*

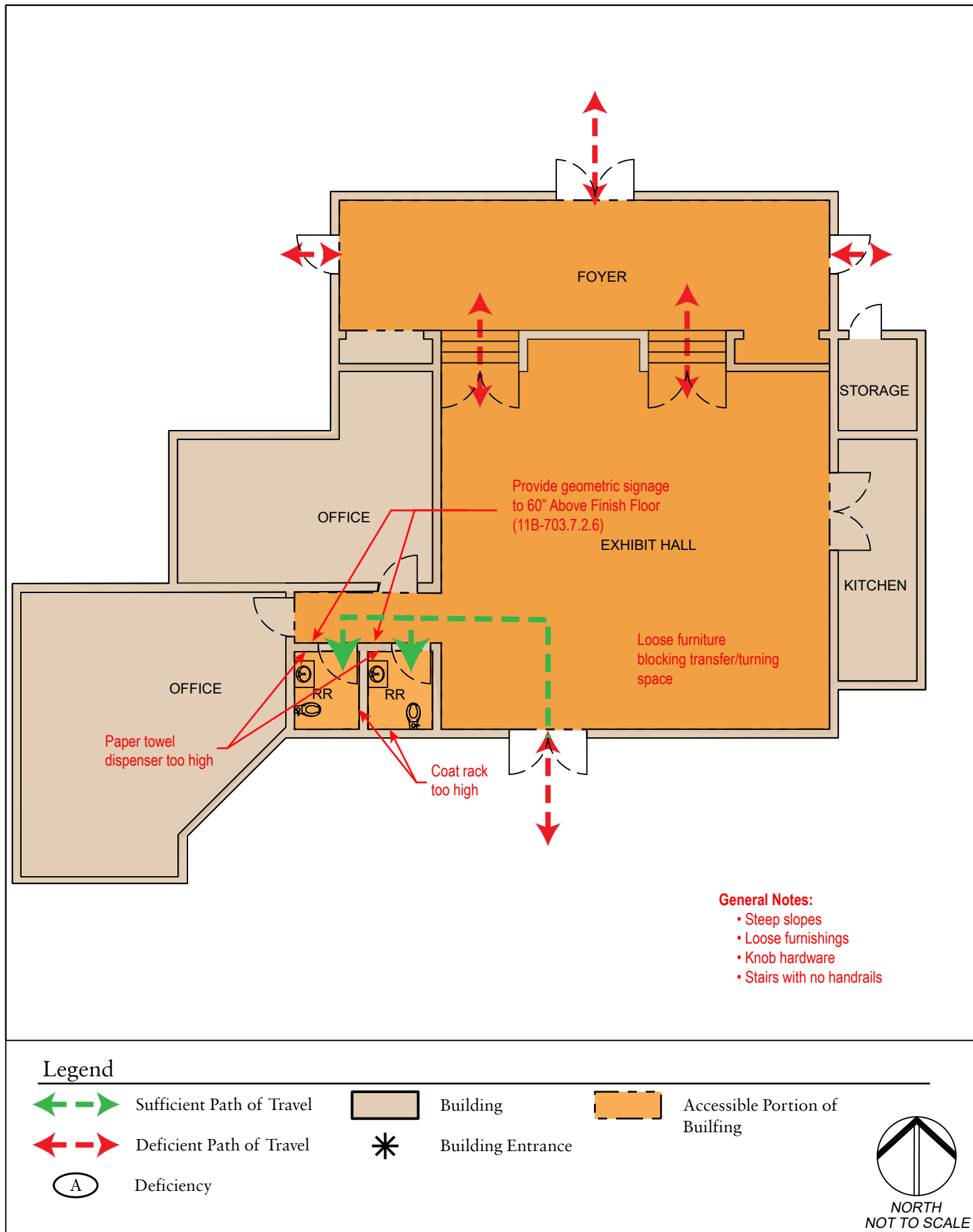
## 2.9 TRAILS

Hidden Valley Wildlife Area serves as a staging area and trailhead for trails extending into the Santa Ana Riverbed from the Park site. The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7)

*ACTION ITEM 2.13.1: Supplement existing trails to permit the ability for wheelchair occupants to use, in compliance with CBC 11B-246.7.*







### 3.0 BUILDINGS

There is currently a lot of buildings within Hidden Valley Wildlife Area:

#### 3.1 NATURE CENTER

This older building provides office space, restrooms, exhibits, and craft space.

*Notable Access Barriers:*

**General**

- Steep slopes at perimeter walks
- Loose furnishings obscure front walkway area
- Knob hardware on doors
- Stairs between upper and lower levels - no handrails

**Restrooms**

- Missing geometric signage
- Paper towel dispensers too high
- Coat rack too high
- Loose furniture blocking transfer/ turning space



#### 3.2 RCRPOD OFFICES

Not publicly accessed, therefore not included in this report.

#### 3.3 ANCILLARY BUILDINGS

Not publicly accessed, therefore not included in this report.



## SUMMARY OF CORRECTIVE ITEMS:

### HIDDEN VALLEY WILDLIFE AREA

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (6 total)	\$1,500	Immediate	
<b>1.0 PARKING</b>				
1.1.1	Provide (1) Designated Van Accessible Parking Space and Loading zone west trailhead lot; will require new concrete - assume 500 SF, signage, striping, etc.	\$5,000	June 2020	
1.1.2, 1.1.3, 1.3.1	Provide (1) Designated Van Accessible Parking Space and Loading zone at the Nature Center parking lot; and one standard accessible space; will require new concrete - assume 1000 SF, signage, striping, etc.	\$7,500	June 2019	
1.3.2	Provide access aisles and loading zone in association w/ 1.1.2 above	\$0	June 2019	
<b>2.1 ENTRANCE AREA</b>				
2.1.1	Provide accessible path between parking and amenities	\$10,000	June 2025	
2.1.2	Replace picnic table with accessible model	\$1,500	June 2025	
<b>2.2 STAGING AREA</b>				
2.2.1	Provide walkway and accessible picnic table	\$10,000	June 2023	
2.2.2	Replace portable toilet with accessible model	\$1,000	June 2023	
<b>2.3 DAY USE AREA</b>				
2.3.1	Same as 2.2.1 and 2.2.2 above	\$11,000	June 2023	
<b>2.4 NATURE TRAIL</b>				
2.4.1	Supplement trails with partial wheelchair accessibility	\$25,000	June 2025	
<b>2.5 INTERACTIVE PLAY ZONE</b>				
2.5.1	Develop long-term reworking of area to allow for accessibility	\$250,000	June 2028	
<b>2.6 AREA IN FRONT OF NATURE CENTER</b>				
2.6.1	Provide accessible tables (allow 5)	\$7,500	June 2021	
2.6.2	Replace (1) portable toilet with accessible model; ensure accessible toilet and hand wash station are on accessible walk	\$2,500	Immediate	
<b>2.7 AMPHITHEATER</b>				
2.7.1	Develop long-term reworking of area to allow for accessibility	\$50,000	June 2028	
<b>2.8 LOOKOUT AREAS</b>				
2.8.1	See report for retrofit items	\$20,000	June 2025	
<b>2.9 TRAILS</b>				
2.9.1	Supplement trails with partial wheelchair accessibility	\$20,000	June 2028	
<b>3.1 NATURE CENTER</b>				
3.1.1	Minor/ moderate corrective items - see report	\$50,000	June 2023	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$472,500		







ACCESSIBILITY COMPLIANCE REPORT FOR:  
**IDYLLWILD NATURE CENTER**

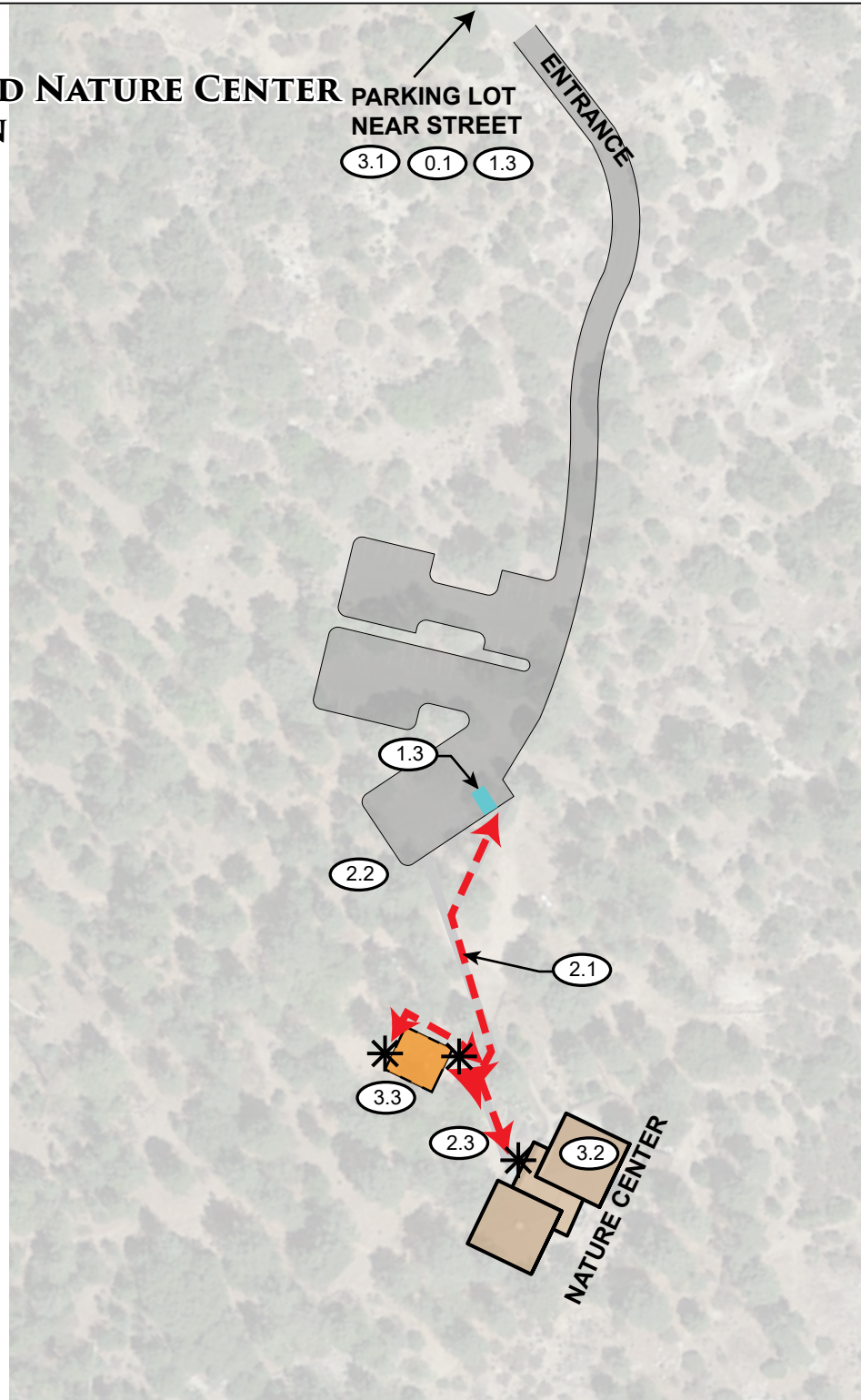
25225 State Highway 243  
Idyllwild, CA 92549

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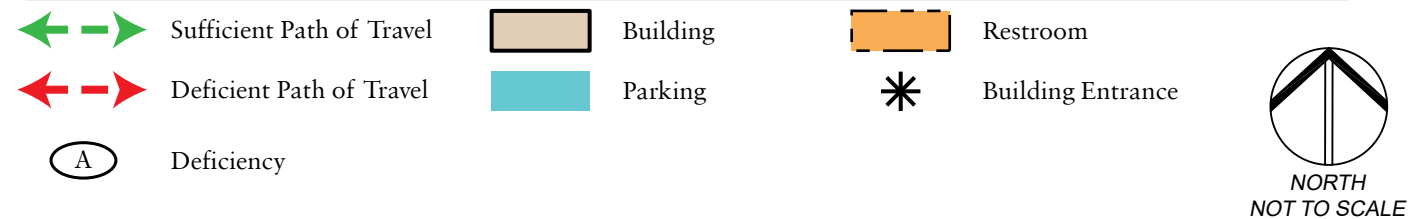




# IDYLLWILD NATURE CENTER SITE PLAN



## Legend



## INTRODUCTION

Idyllwild Nature Center is located in the San Jacinto Mountains, approximately 1 mile northwest of the Idyllwild central business district. The park site consists of a nature center building, separate restroom building, and trails. Due to the mountainous location of Idyllwild Nature Center, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Idyllwild Park was performed on Thursday, January 25, 2018, with a start time of approximately 10:30 am. Scott Rice, CASp-709 toured the facility with the remote coordination of Anthony Miller, Park Ranger, and the assistance of undisclosed on-site personnel.



*Pictured: Guard-controlled entrance to Idyllwild Nature Center. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from State Highway 243. Inbound traffic can be controlled by an entry kiosk. However, the kiosk was unoccupied on the day of the visit. Nowhere along this paved entry drive is the sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on the entry drive from State Highway 243. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is Idyllwild Shuttle Bus. However, no existing routes travel past the entrance to the park site.

*ACTION: No action required by ADA nor CBC at the time of this report.*





# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Idyllwild Nature Center includes a total of 63 marked off-street parking spaces, divided amongst three paved parking lots at various locations throughout the park site, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Near Park Entrance	14	13	0	0	1	1	1	1	Yes
Lot at Midpoint of Entry Drive	(Paved but not marked parking)								
Three-Fingered Lot Near Building	49	48	0	0	1	2	1	1	No
<b>TOTAL</b>	<b>63</b>	<b>61</b>	<b>0</b>	<b>0</b>	<b>2</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Provide one Designated Van-Accessible Parking Space in the Parking lot closest to the Nature Center, in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.3: In addition to Action Item 1.1.1 above, provide one Standard Accessible Parking Space in the same parking lot, in compliance with CBC 11B-502.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at each of the two parking areas at Idyllwild Nature Center currently allows for accessible parking to be located in close proximity to the building and/or key amenity they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

All Designated Accessible Parking Spaces inspected generally met or exceeded the dimensions of 9' wide x 18' length. Two of the three Van Accessible space included an 8' wide access aisle/ loading zone, with the third measuring about 6" deficient in width. All parking signage appeared to be mounted at proper heights (80" clear when signage is placed within the accessible path/ 60" min. above finish floor to the bottom of the sign outside accessible paths). Loading zone diagonal striping was consistently observed at 3' on-center spacing. "NO PARKING" was NOT observed in 12" tall white painted letters at any of the loading areas. International Symbol of Accessibility was provided at each Designated Accessible Parking Space. All Designated Accessible Parking Spaces and adjacent access aisles were mostly found to be

compliant in slope (1:48 maximum). Detectable warning (truncated domes) were NOT provided in Federal Yellow color, with proper contrasting surface resiliency, between accessible walkways and adjacent parking/ vehicular areas, where these walkways had a zero-curb condition (walkway and parking meeting flush in elevation to one another). A few action items are noted :

*ACTION ITEM 1.3.1: Provide "NO PARKING" in 12" tall characters at the leading edge of the passenger loading zones in compliance with CBC 11B-502.3.3.*

*ACTION ITEM 1.3.2: Provide "Minimum Fine: \$250" signage at ALL parking spaces as defined by CBC 11B-502.6.2; Recommendation is to replace all signage with the Caltrans R99 signage shown in the beginning of this report. Signage shall maintain 60" min. clearance where signs are located outside accessible routes, and 80" min. clear where located within accessible routes, as per CBC 11B-502.6.*

*ACTION ITEM 1.3.3: Grind and overlay asphalt paving to eliminate areas exceeding 1:48, as per CBC 11B-502.4, Exception #1. Excessive slope was noted at DAPS #1, 2, loading zone between 1 & 2,*

*ACTION ITEM 1.3.4: Restripe passenger loading zones to reflect full 8' width required for van parking spaces, in compliance with CBC 11B-502.2, Exception #1*



Parking area near park entry. Access aisle measured approximately 3" narrower than the required 8' width.



Designated Accessible Parking Space located near Nature Center, impeded by car blocking the access aisle. Access aisle is not wide enough for van accessible designation as currently painted. Signage also too low.



Example of improper proportions of International Symbol of Accessibility (ISA)





## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 WALK TO NATURE CENTER BUILDING

Circulation paths from the parking lot to the Nature Center building and nearby restroom are constrained by the mountainous topography present.

*ACTION ITEM 2.1.1: Provide a realigned circulation walkway to connect the Designated Accessible Parking Spaces with all provided amenities, including but not limited to nature center, trailhead and restrooms. This will likely require a substantially different walkway location in order to accommodate accessibility requirements, given the existing sloped topography.*

*ACTION ITEM 2.1.2: Where provided, the designated accessible amenities listed in Action Item 2.2.1 above shall meet accessibility requirements for dimensions and layout.*



Walkway between parking and building has large gaps, excessive cross slope, and does not directly connect to the Designated Accessible Parking Space.



Yellow paint serves as a temporary warning of the vertical rise at the walkway joint. Note: the historic drinking fountain pictured is supplemented with an accessible high-low fountain (not pictured).

### 2.2 PICNIC AREA

In the area in front of the Nature Center, there are loose picnic tables scattered amongst mature trees. There is no accessible path currently connecting the picnic area to the restroom nor to the Designated Accessible Parking Space.

*ACTION ITEM 2.2.1: Provide an accessible connection to picnic areas from the restroom and accessible parking, in compliance with CBC 11B-206 and 11B-246.5.*

*ACTION ITEM 2.2.2: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*



Walkway between parking and building has large gaps, excessive cross slope, and does not directly connect to the Designated Accessible Parking Space.

### 2.3 TRAILS

Idyllwild Nature Center serves as a trailhead for many trails extending into the San Jacinto Mountains from the Park site. The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7)

*ACTION ITEM 2.3.1: Supplement existing trails to permit the ability for wheelchair occupants to use, in compliance with CBC 11B-246.7.*



Transition to Yellow Pine Forest Nature Trail provides written description on exhibits located outside wheelchair reach range or text size requirements.



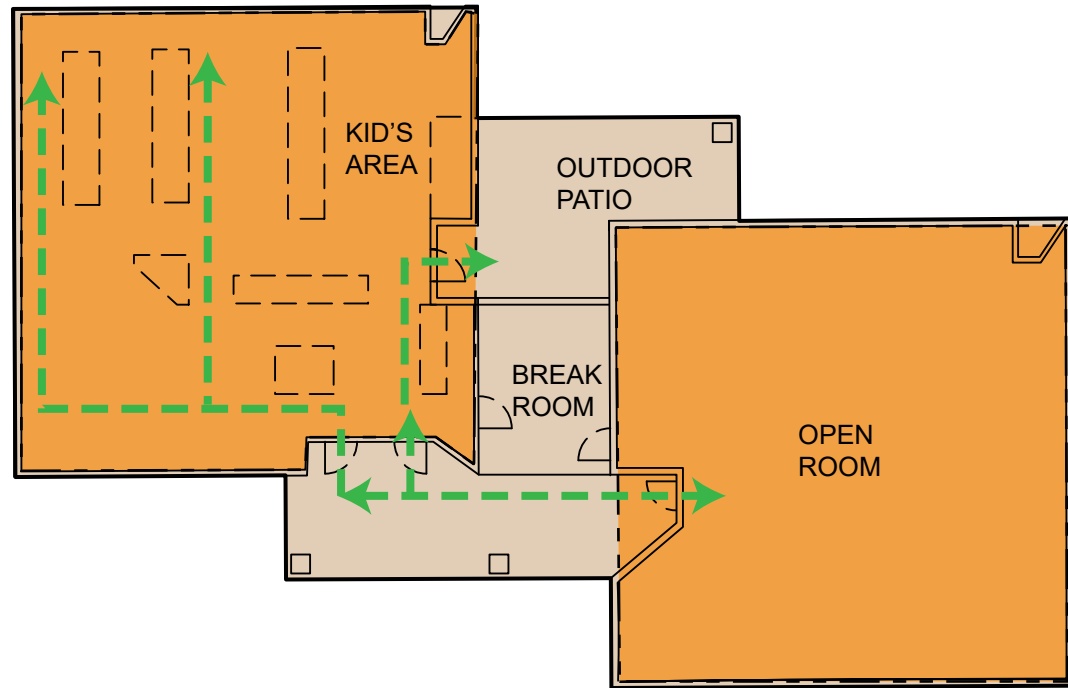
Pet Waste Station provided along trail.



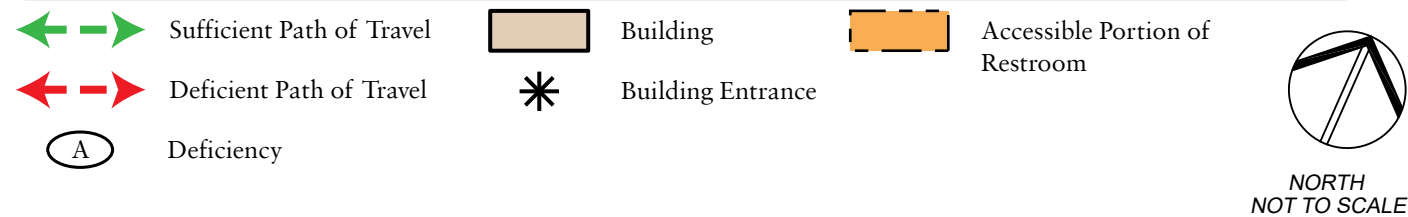
Lookout point behind Nature Center.



# IDYLLWILD NATURE CENTER FLOOR PLAN



### Legend



## 3.0 BUILDINGS

Idyllwild Nature Center has a limited number of buildings, including an entry kiosk, the Nature Center building, and a freestanding restroom building.

### 3.1 ENTRY KIOSK

The Entry gate kiosk is not a publicly accessed building. The County employee accommodates park patrons at their vehicle.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 3.2 NATURE CENTER

The Nature Center provides a combination of exhibit and interactive space, along with a gift store component.



*Exterior view of back of Nature Center building.*

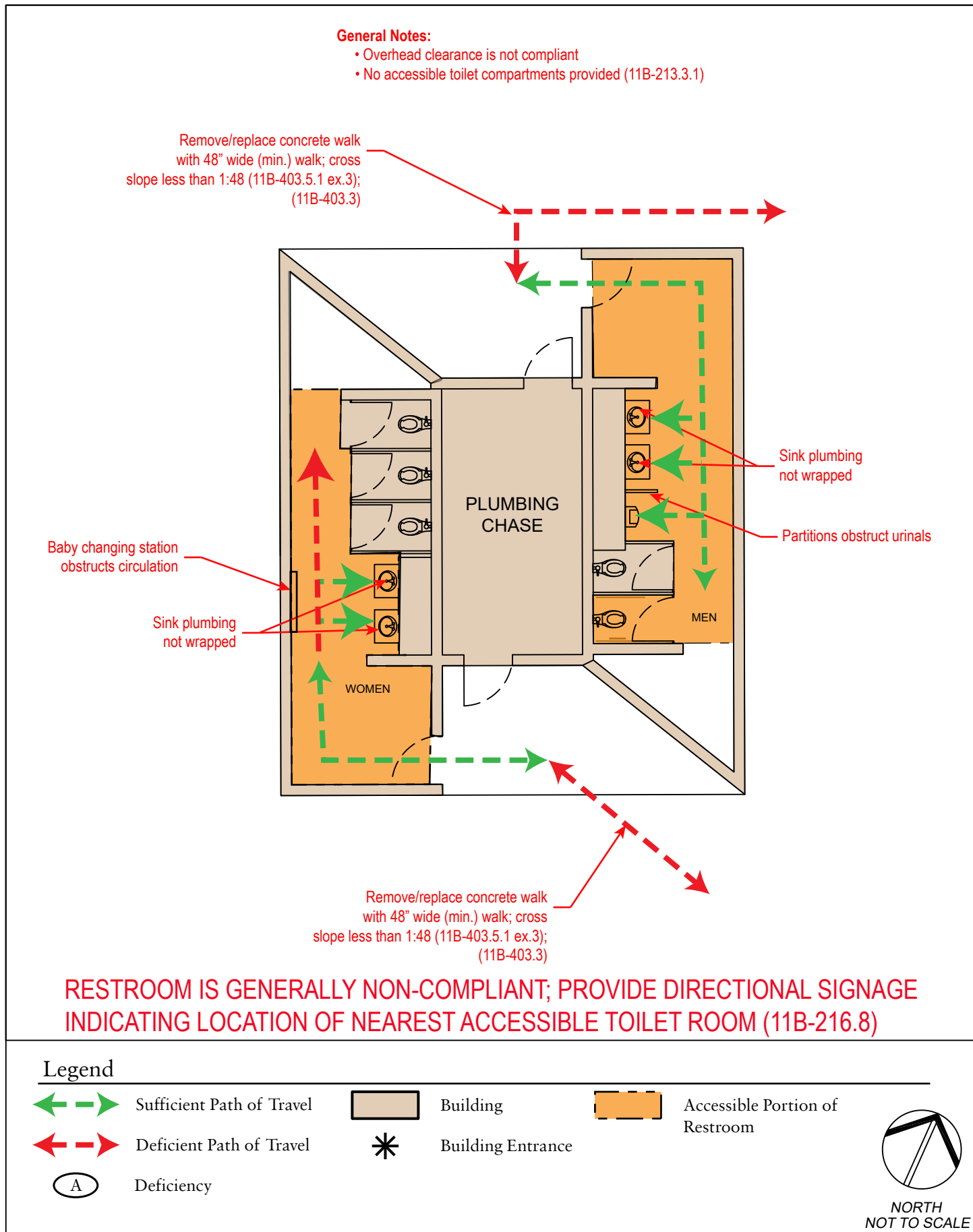


*Interior of Nature Center building.*

#### Notable Access Barriers:

##### General

- Indoor bench seating exceeds allowable height
- Narrow corridors within exhibit space prevent wheelchair passage.
- Pamphlets provided above maximum reach range



### 3.3 RESTROOM BUILDING

The restroom building resembles construction present at Idyllwild Park.

*Notable Access Barriers:*

**General**

- Accessible path from Nature Center/ Parking to restroom is hindered by excessive slope, vertical lifts
- Overhead clearance issue near restroom entry
- Widest toilet compartment is 36" wide (no wheelchair access)
- Partitions obstruct forward access to urinal
- Sink plumbing not wrapped
- Baby Changing Station impedes circulation space



Exterior view of restroom.



Overhead obstruction at restroom entry.



Interior of restroom building.



## SUMMARY OF CORRECTIVE ITEMS:

### IDYLLWILD NATURE CENTER

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (3 total)	\$750	Immediate	
<b>1.0 PARKING</b>				
1.1.1, 1.3.1, 1.3.2, 1.3.3, 1.3.4	Provide (1) Designated Van Accessible Parking Space and Loading zone at Nature Center lot; will require asphalt grind/overlay - assume 500 SF, signage, striping, etc.	\$5,000	June 2020	
1.1.2	Provide access aisles and one standard accessible space in association w/ 1.1.2 above	\$2,500	June 2020	
<b>2.1 WALK TO NATURE CENTER BUILDING</b>				
2.1.1	Refurbish accessible path between parking and amenities	\$15,000	June 2021	
2.1.2	Replace site furnishings with accessible models	\$4,500	June 2021	
<b>2.2 PICNIC AREA</b>				
2.2.1	Provide walkway to accessible picnic tables	\$10,000	June 2023	
2.2.2	Replace picnic tables with accessible model (3)	\$4,500	June 2023	
<b>2.3 TRAILS</b>				
2.3.1	Supplement trails with partial wheelchair accessibility	\$20,000	June 2025	
<b>3.2 NATURE CENTER</b>				
3.2.1	Minor/ moderate corrective items - see report	\$25,000	June 2021	
<b>3.3 RESTROOM BUILDING</b>				
3.3.1	Existing building will not accommodate wheelchair access; recommend adding adjacent wheelchair accessible restroom	\$125,000	June 2028	
3.3.1 interim	Provide Accessible Portable Restroom and hand washing station near restroom	\$1,000	Immediate	
	<b>TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)</b>	<b>\$213,250</b>		







ACCESSIBILITY COMPLIANCE REPORT FOR:

## LOUIS ROBIDOUX NATURE CENTER

5370 Riverview Drive  
Jurupa Valley, CA 92509

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# LOUIS ROBIDOUX NATURE CENTER SITE PLAN



## Legend

Sufficient Path of Travel	Building	Restroom	 NORTH NOT TO SCALE
Deficient Path of Travel	Parking	Building Entrance	
Deficiency			

## INTRODUCTION

Louis Robidoux Nature Center is located near Rancho Jurupa Park in Jurupa Valley. The park site consists of a nature center building and trails. Due to the somewhat rural location of Robidoux Nature Center, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Louis Robidoux Nature Center was performed on Wednesday, April 11, 2018, with a start time of approximately 8:30 am. Scott Rice, CASp-709 toured the facility with the remote coordination of Shannon Chamberlain, Volunteer Services Coordinator.



*Pictured: Pedestrian entry from on-site parking.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Riverview Road. Nowhere along this entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on the facility side of Riverview Road, nor is a walkway provided. Pedestrian access first becomes apparent at the Nature Center Building. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is RTA. No existing routes travel past the entrance to the park site. The closest RTA route to the site is Route 29. The closest bus stop is located at Limonite and Peralta Place, approximately 1 mile from Robidoux Nature Center.

*ACTION: No action required by ADA nor CBC at the time of this report.*





# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Louis Robidoux Nature Center consists of one large lot of mostly unpaved parking, with paving only occurring at the Designated Accessible Parking Spaces. See parking breakdown below:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Designated Accessible Paved Parking	4	0	0	0	4	1	2	1	<b>Yes</b>
Main Parking Area	(Unpaved, somewhat defined aisles)								
<b>TOTAL</b>	<b>4</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>4</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at Robidoux Nature Center currently allows for accessible parking to be located in close proximity to the building it serves, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

The accessible parking is grouped at the closest location to the building entrance amongst the overall rural parking lot. The dimensions of the parking spaces and access aisles generally appeared to meet accessibility requirements. However, several action items were noted:

*ACTION ITEM 1.3.1: Remove entire concrete slab from Designated Accessible Parking; Reconstruct with surface finish within allowable slope tolerances, in compliance with CBC 11B-502.4, exception 1.*

*ACTION ITEM 1.3.2: Provide "Minimum Fine: \$250" signage at ALL parking spaces as defined by CBC 11B-502.6.2;*

*Recommendation is to replace all signage with the Caltrans R99 signage shown in the beginning of this report. Signage shall maintain 60" min. clearance where signs are located outside accessible routes, and 80" min. clear where located within accessible routes, as per CBC 11B-502.6.*

*ACTION ITEM 1.3.3: Provide "NO PARKING" in 12" tall characters at the leading edge of the passenger loading zones in compliance with CBC 11B-502.3.3.*



The site is currently overgrown, with vehicular access impeded to the parking area.



All Designated Accessible Parking Spaces and Access Aisles exceeded the 1:48 (2.08%) slope. Pictured above: 4% cross slope.



Minimum Fine signage not provided, nor are detectable warnings where the parking walkway enters the hazardous vehicular zone/ crossing.





## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 GENERAL CIRCULATION

A concrete walk connects the parking area with the Nature Center building. The majority of the walkway has excessive cross slope. See action items below:

*ACTION ITEM 2.1.1: Provide detectable warnings as per CBC 11B-247.1.2.5, complying with Sections 11B-705.1.1 and 11B-705.1.2.5.*

*ACTION ITEM 2.1.2: Replace portions of walkway that exceed maximum cross slope, in compliance with CBC 11B-403.3.*

### 2.2 PLAZA SURROUNDING NATURE CENTER

The majority of the concrete plaza surrounding the Nature Center has slopes that far exceed accessibility maximum of 1:48 (2.08%). There are many gaps in excess of 1/2" in width. Many benches are provided, however none of the benches provide back support.

*ACTION ITEM 2.2.1: Replace portions of plaza that exceed maximum cross slope, in compliance with CBC 11B-403.3. Eliminate all gaps exceeding 1/2" in width.*

*ACTION ITEM 2.2.2: Replace benches with models providing back support and in full compliance with CBC 11B-903.*



Truncated domes are not currently provided where the accessible walkway crosses the driveway.



Excessive cross slope is noted on the walkway between the parking area and the Nature Center building.



Example of benches without backs, as observed throughout the Nature Center plaza.



Excessive slope, vertical changes in level, and scattered debris is present throughout the concrete plaza and walkways surrounding the Nature Center building.

### 2.3 AMPHITHEATER/ TRAILS

There is an outdoor amphitheater along the pathway to nature trails. However, users currently have to traverse a very steep slope to reach the amphitheater.

*ACTION ITEM 2.3.1: Develop a long-term plan to provide at least partial wheelchair access to trails, as per CBC 11B-246.7, and wheelchair seating at amphitheater. Since the Sunny Slope Creek Trail cannot be reached without crossing the existing bridge, an accessible bridge crossing shall be included in the long-term plan.*



Extreme running slope of more than 30% is observed near the amphitheater. The amphitheater seating is currently fully overgrown and equally inaccessible for all.



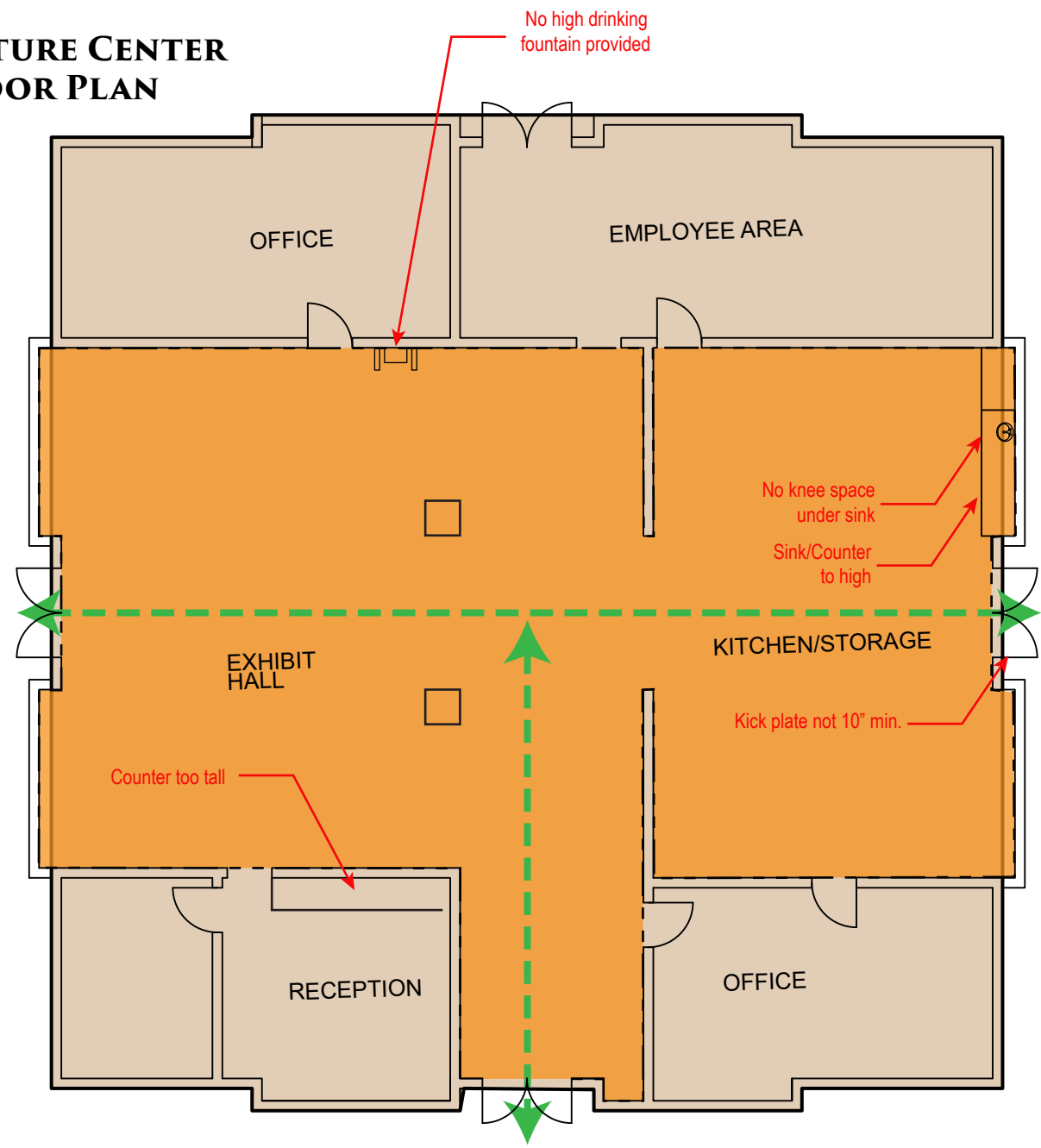
Access to the Sunny Slope Creek Trail requires users to cross a narrow footbridge with excessive cross slope and running slope, as well as lifted boards.



Excessive cross slope is noted on the bridge.



# NATURE CENTER FLOOR PLAN



**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Building	
	Deficient Path of Travel		Building Entrance			
	Deficiency					

NORTH  
NOT TO SCALE

## 3.0 BUILDINGS

There are currently two publicly accessed buildings within Louis Robidoux Nature Center: the Nature Center building, and an adjacent restroom.

### 3.1 NATURE CENTER

The Nature Center is currently “mothballed” and has been heavily vandalized.

#### Notable Access Barriers:

##### General

- Kick plates at entry doors do not provide the 10” min. as required by CBC 11B-404.2.10
- Kitchen countertop does not provide work space at 34”height, as per CBC 11B-804.3.2
- Knee space is not provided at kitchen sink as per CBC 11B-606.2
- Drinking fountain is not provided for standing users as per CBC 11B-602.7
- Counter at reception area exceeds 34 inch height as per CBC 11B-904.4



No knee/ forward wheelchair approach at sink.



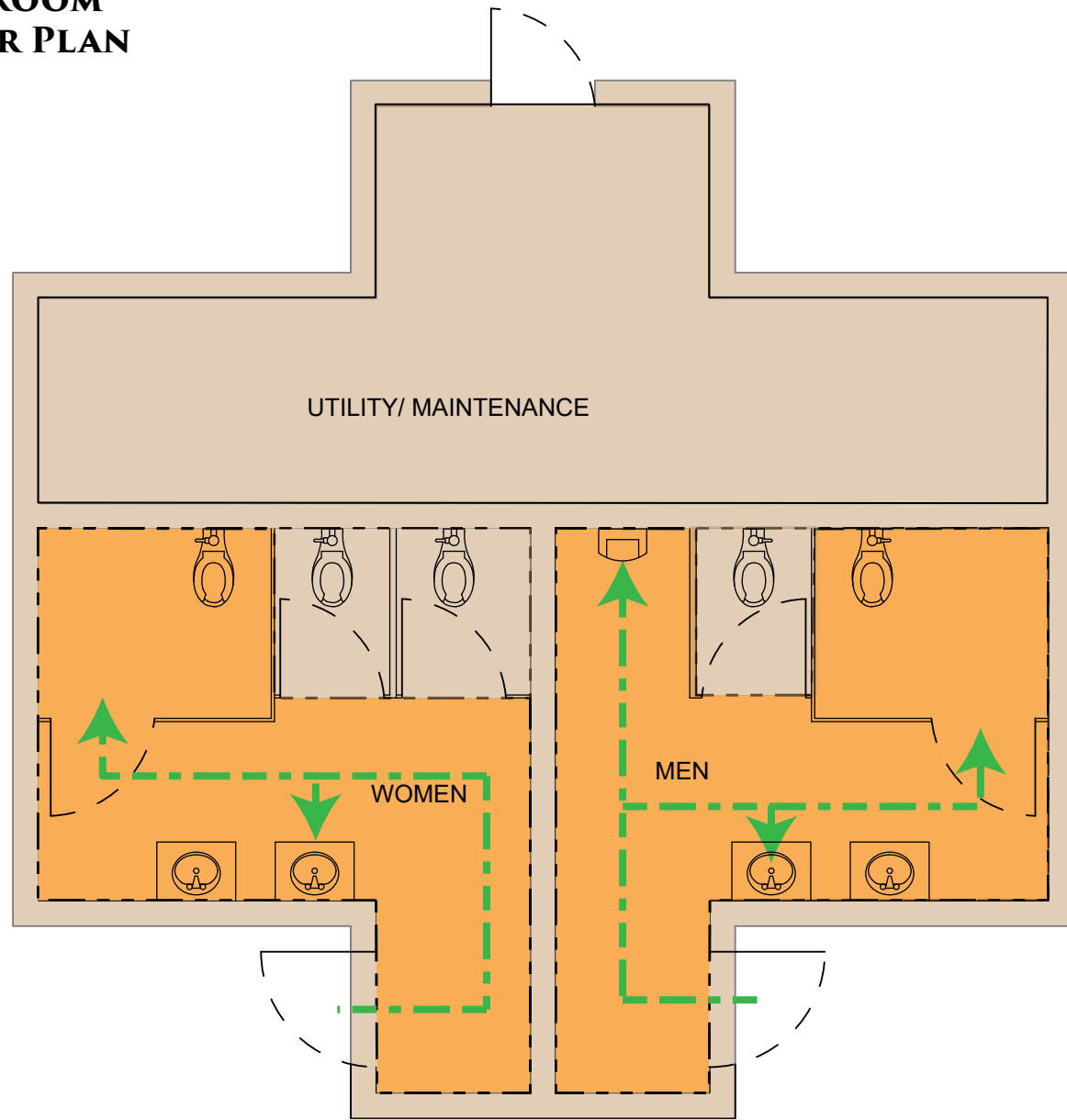
Insufficient kick plate height at exit doors.



Drinking fountain missing its standing height counterpart.



# RESTROOM FLOOR PLAN



## Legend

	Sufficient Path of Travel		Building		Accessible Portion of Restroom	 NORTH NOT TO SCALE
	Deficient Path of Travel		Building Entrance			
	Deficiency					

## 3.2 RESTROOM

The restroom building was also observed to be in a mothballed state.

### Notable Access Barriers:

#### WOMEN'S ROOM

- Women's Room Geometric sign is damaged

#### MEN'S ROOM

- Access to urinal does not allow wheelchair access as required by CBC 11B-605.3.
- Toilet partition framework creates overhead hazard at 78" AFF (80" min. required by CBC 11B-307.4)



Women's room geometric sign is damaged.



Panoramic view of men's room interior.

**SUMMARY OF CORRECTIVE ITEMS:  
ROBIDOUX NATURE CENTER**

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage at conspicuous location near entrance to off-street parking facility	\$500	Prior to re-opening facility	
<b>1.0 PARKING</b>				
1.3.1	Remove entire concrete slab from Designated Accessible Parking; reconstruct with surface finish within allowable slope tolerances	\$15,000	Within 1 year of re-opening facility	
1.3.2	Provide "Minimum Fine: \$250" signage at all parking spaces	\$400	Within 1 year of re-opening facility	
1.3.3	Provide "NO PARKING" in 12" tall characters at the leading edge of the passenger loading zones	\$200	Within 1 year of re-opening facility	
<b>2.1 GENERAL CIRCULATION</b>				
2.1.1	Provide detectable warnings	\$1,500	Within 1 year of re-opening facility	
2.1.2	Replace portions of walkway that exceed maximum cross slope	\$5,000	Within 1 year of re-opening facility	
<b>2.2 PLAZA SURROUNDING NATURE CENTER</b>				
2.2.1	Replace portions of plaza that exceed maximum cross slope	\$25,000	Within 2 years of re-opening facility	
2.2.2	Replace benches with models providing back support	\$10,000	Within 2 years of re-opening facility	
<b>2.3 AMPHITHEATER / TRAILS</b>				
2.3.1	Supplement trails with partial wheelchair accessibility	\$20,000	Within 3 years of re-opening facility	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$77,600		







ACCESSIBILITY COMPLIANCE REPORT FOR:  
**SANTA ROSA PLATEAU  
ECOLOGICAL RESERVE**

39400 Clinton Keith Road  
Murrieta, CA 92562

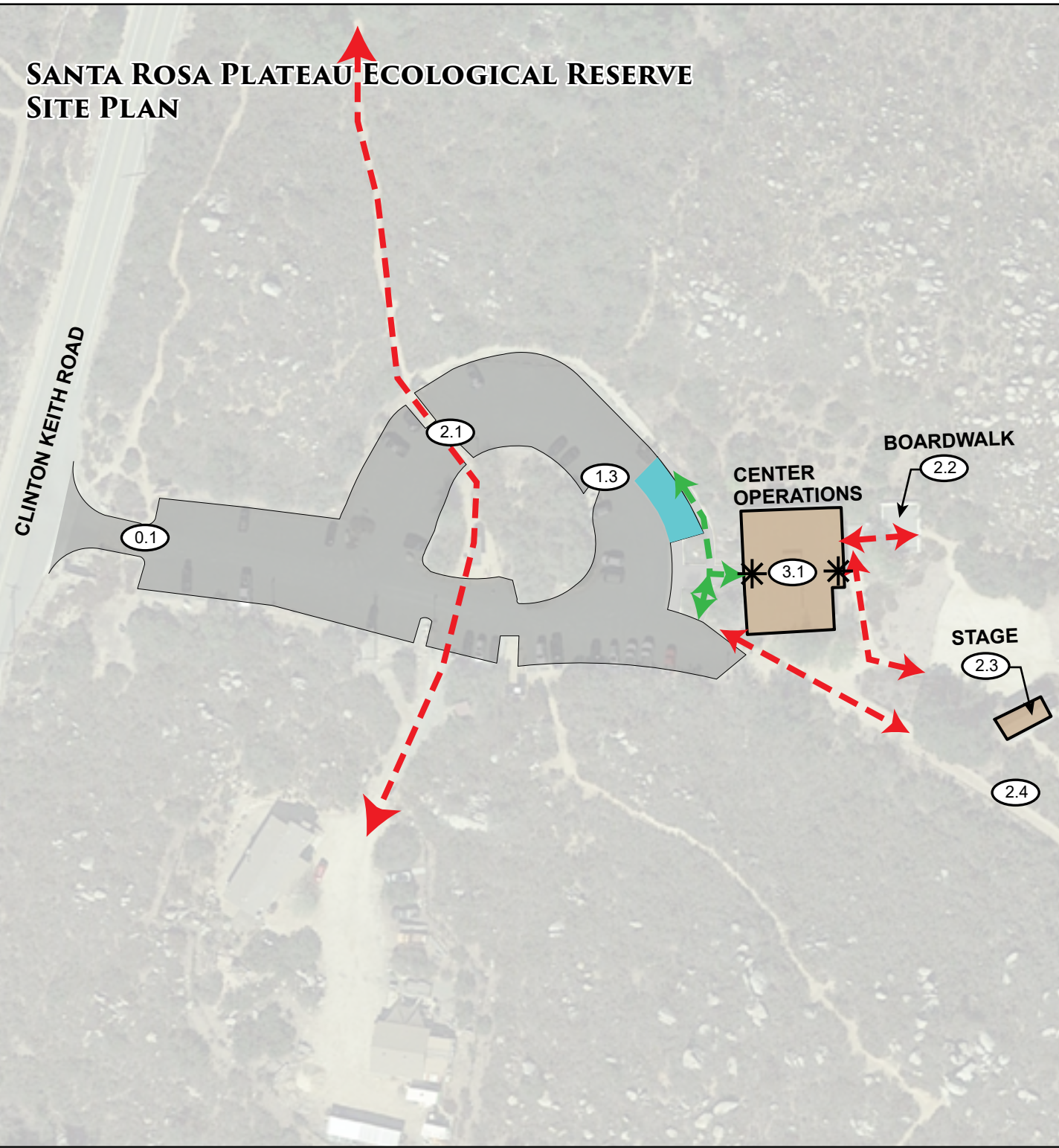
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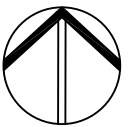




# SANTA ROSA PLATEAU ECOLOGICAL RESERVE SITE PLAN



## Legend

- ← - - - → Sufficient Path of Travel
  - ← - - - → Deficient Path of Travel
  - Building
  - Parking
  - Restroom
  - ✱ Building Entrance
  - A Deficiency
-   
 NORTH  
 NOT TO SCALE

## INTRODUCTION

Santa Rosa Plateau Ecological Reserve is located on the Santa Rosa Plateau, just southwest of Murrieta. The park site consists of a nature center building, outdoor learning areas, and trails. Due to the rural location of Idyllwild Nature Center, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Santa Rosa Plateau Ecological Reserve was performed on Monday, February 19, 2018, with a start time of approximately 1:00 pm. Scott Rice, CASp-709 toured the facility with Bill Evans, Park Ranger.



*Pictured: Unpaved parking and trail crossing. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Clinton Keith Road. Nowhere along this unpaved entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on either side of Clinton Keith Road, nor is a walkway provided into the site. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is RTA. No existing routes travel past the entrance to the park site. The closest RTA route to the site is Route 23. The closest bus stop is located at Hidden Springs Road and Catt Road near Interstate 15 and Clinton Keith Road, approximately 4 miles from Santa Rosa Plateau Ecological Reserve.

*ACTION: No action required by ADA nor CBC at the time of this report.*





# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Santa Rosa Plateau Ecological Reserve consists of one large lot of mostly unpaved parking, with paving only occurring at the Designated Accessible Parking Spaces near the Building. See parking breakdown below:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Paved Parking	4	1	0	0	3	1	1	1	Yes
Main Parking Area	(Unpaved, somewhat defined aisles)								
<b>TOTAL</b>	<b>4</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>3</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Provide, in compliance with CBC 11B-502.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at the sole parking lot at Santa Rosa Nature Center currently allows for accessible parking to be located in close proximity to the building and/or key amenities they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

The Designated Accessible Parking Spaces were observed to be grouped near the building entrance. These spaces were the only concrete spaces present, with the remainder of the parking lot having a gravel surface. The concrete surface does not extend beyond the end of the parking spaces nor access aisle. Accordingly, gravel was seen strewn over the Designated Accessible Parking Spaces. The gravel also appeared to be expediting the wear and tear of the striping and International Symbol of Accessibility in each space. See action items on next page.

*ACTION ITEM 1.3.1: Provide “Minimum Fine \$250” signage at each Designated Accessible Parking Space, as per CBC 11B-502.6.2. Signage shall maintain 60” min. clearance where signs are located outside accessible routes, and 80” min. clear where located within accessible routes, as per CBC 11B-502.6.*

*ACTION ITEM 1.3.2: Provide “NO PARKING” in 12” tall characters at the leading edge of the passenger loading zones at all designated accessible parking spaces, in compliance with CBC 11B-502.3.3.*

*ACTION ITEM 1.3.3: Repaint International Symbol of Accessibility and striping at each DAPS.*



Designated Accessible Parking Spaces near the Nature Center entrance.



Gravel, worn striping, lack of No Parking paint.



No “MINIMUM FINE \$250” Sign.



## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 AMENITIES AROUND PARKING LOT

Circulation paths through the Santa Rosa Plateau site generally consist of earthen trails and gravel. There are some information kiosks present, as well as trailheads, portable toilets. Drinking fountain is not high-low style. Bench seats are too high above grade.

*ACTION ITEM 2.1.1: Provide at least one accessible picnic table in each grouping of tables, in compliance with CBC 11B-246.5 and CBC 11B-902.*

*ACTION ITEM 2.1.2: Where portable toilets are provided, at least one shall be accessible. Replace current model with a wheelchair-accessible unit.*

*ACTION ITEM 2.1.3: Replace drinking fountain with high-low accessible model, as per CBC 11B-602.*

*ACTION ITEM 2.1.4: Provide accessible paths through parking areas at a minimum before transitioning to earthen trails. Currently, the only warning of entering a hazardous vehicle area is the tactile difference in material between the earth and gravel.*

*ACTION ITEM 2.1.5: Trim tree branches to provide a minimum vertical clearance of 80 inches at all walkways.*



Drinking Fountain, Kiosk, and Benches within Parking Area: none of these provided amenities are compliant with current accessibility codes.



Gravel unmarked crossings do not allow for safe wheelchair or blind travel across the parking lot.



Low tree branches within walkway areas present overhead clearance issues. 80" minimum is required.

### 2.2 BOARDWALK AREA

Provided benches do not meet 20" minimum seat depth requirement listed in CBC 11B-903.3, nor do they provide adequate back support with the cable rails.

*ACTION ITEM 2.2: Modify benches to provide minimum depth and back support per CBC 11B-903.*



Integral benches at the boardwalk measure approximately 18" in depth, which does not meet the minimum required depth of 20".

### 2.3 PRESENTATION STAGE

Handrails appear generally compliant, but stairs do not have a contrasting stripe at each tread (tooled grooves do not satisfy requirement). Also, knee braces at corner posts partially interfere with overhead clearance requirement of 80" minimum.

*ACTION ITEM 2.3.1: Provide cane rail at post bases to warn of overhead obstruction*

*ACTION ITEM 2.3.2: Provide contrasting paint stripe at stair treads.*



Gravel unmarked crossings do not allow for safe wheelchair or blind travel across the parking lot.

### 2.4 TRAILS

Santa Rosa Plateau Ecological Reserve serves as a trailhead for many trails extending into the Elfin Forest from the Park site. The California Building Code currently states that trails, paths, and nature walk areas, or portions of them, shall be constructed with gradients permitting at least partial use by wheelchair occupants. (CBC 11B-246.7)

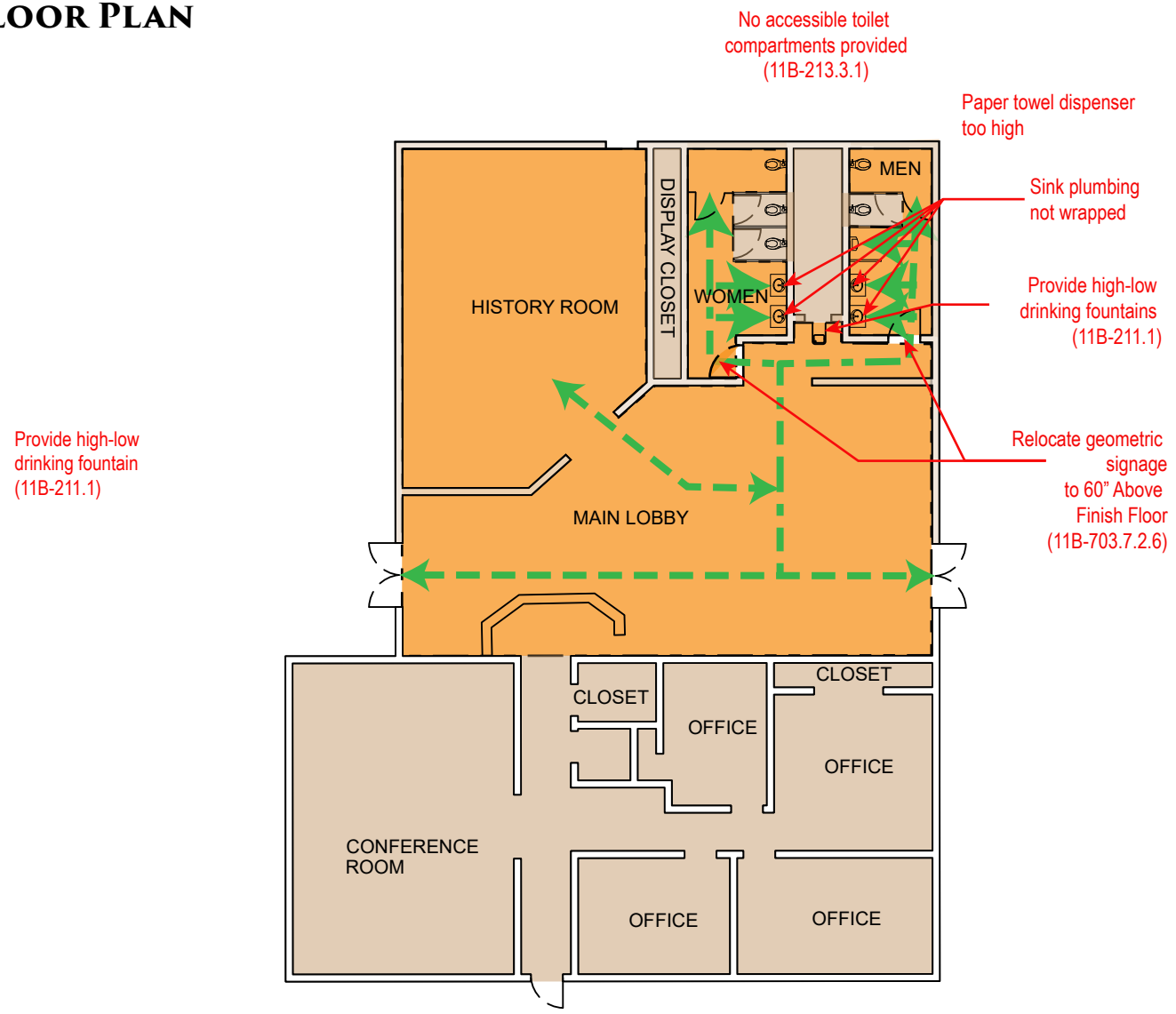
*ACTION ITEM 2.4.1: Supplement existing trails to permit the ability for wheelchair occupants to use, in compliance with CBC 11B-246.7.*



Maintain trails at informational signage, especially where erosion ruts prevent park users from having a stable base to read the signage.



# VISITOR CENTER FLOOR PLAN



**Legend**

- Sufficient Path of Travel
- Deficient Path of Travel
- Deficiency
- Building
- Accessible Portion of Building
- Building Entrance
- NORTH NOT TO SCALE

## 3.0 BUILDINGS

There is currently one building within Santa Rosa Plateau Ecological Reserve: the Visitor Center.

### 3.1 VISITOR CENTER

The Visitor Center provides display and exhibit space, County offices, and public restrooms.

*Notable Access Barriers:*

- General**
- Drinking fountain in alcove does not provide high/low reach ranges, and alcove is too narrow to add second fountain
- Restroom**
- Geometric signage mounted too high (Womens)/ too low (Mens)
  - Paper towel dispenser too high
  - Some sink plumbing not wrapped
  - Wheelchair accessible toilet compartment too narrow
  -



Exterior view of Visitor Center building.



Drinking fountain missing its 2nd fountain companion.



Panoramic view of Visitor Center interior.

**SUMMARY OF CORRECTIVE ITEMS:  
SANTA ROSA PLATEAU ECOLOGICAL RESERVE**

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (1 total)	\$1,500	Immediate	
<b>1.0 PARKING</b>				
1.3.1	Provide "MINIMUM FINE \$250" signage at 3 spaces	\$750	December 2018	
1.3.2	Provide "NO PARKING" in 12" tall characters (3)	\$500	June 2018	
1.3.3	Repaint International Symbol of Accessibility (3)	\$750	June 2018	
<b>2.1 AMENITIES AROUND PARKING LOT</b>				
2.1.1	Provide accessible picnic table	\$1,500	June 2019	
2.1.2	Replace portable toilet with accessible model	\$1,000	Immediate	
2.1.3	Replace drinking fountain with high/low model	\$4,000	June 2021	
2.1.4	Provide accessible circulation paths to trailheads, kiosks, etc.	\$25,000	June 2023	
2.1.5	Trim tree branches to eliminate overhead obstructions at walkways around Nature Center	\$1,000	Immediate	
<b>2.2 BOARDWALK AREA</b>				
2.2.1	Modify benches for accessibility	\$5,000	June 2023	
2.2.2	Replace portable toilet with accessible model	\$1,000	June 2023	
<b>2.3 PRESENTATION STAGE</b>				
2.3.1	Provide cane rail to prevent overhead obstruction	\$1,000	December 2018	
2.3.2	Provide contrasting stripes at stairs	\$250	December 2018	
<b>2.4 TRAILS</b>				
2.7.1	Develop long-term reworking of area to allow for accessibility	\$50,000	June 2025	
<b>3.1 NATURE CENTER</b>				
3.1.1	Minor/ moderate corrective items - see report	\$25,000	June 2020	
	<b>TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)</b>	<b>\$118,250</b>		







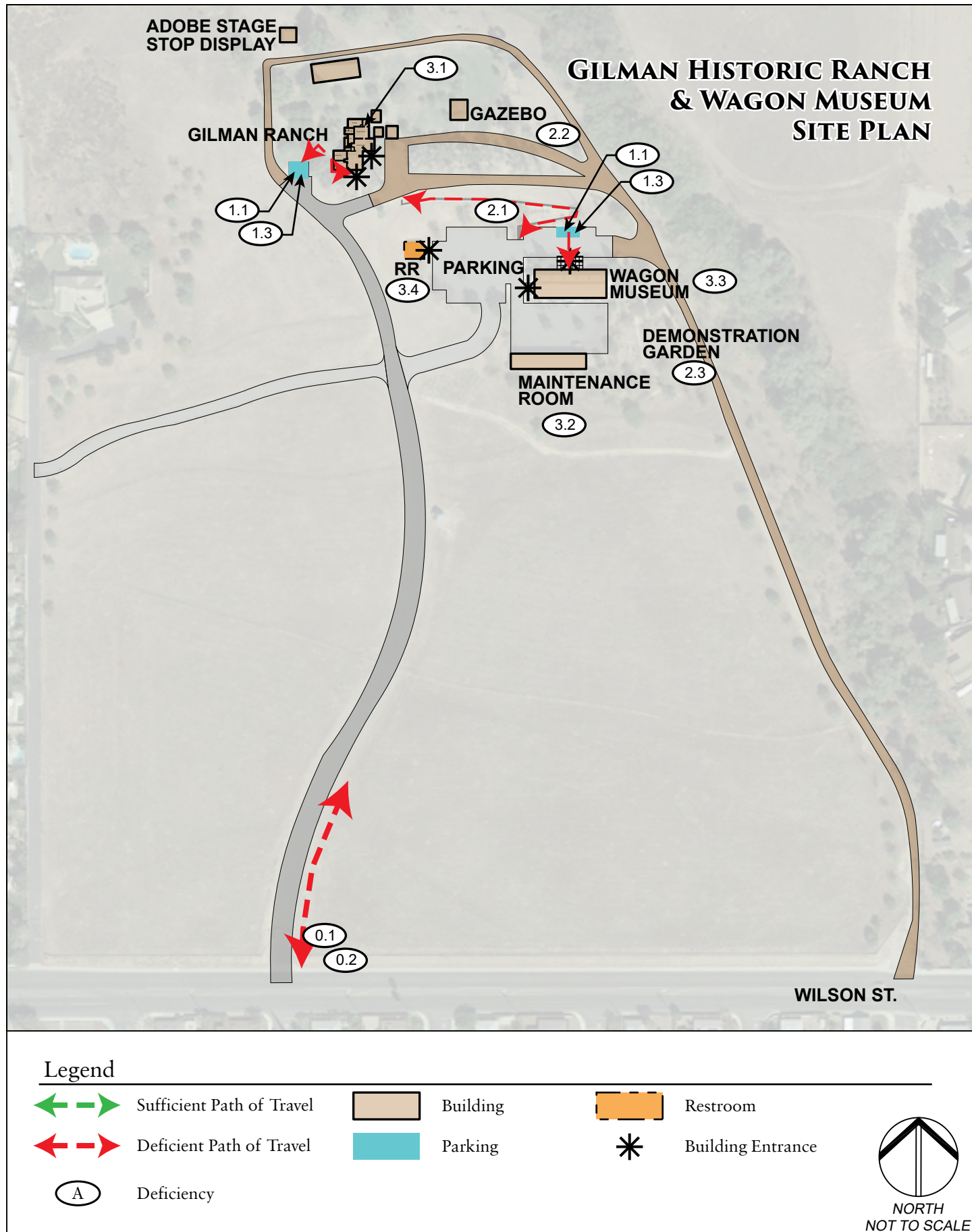
ACCESSIBILITY COMPLIANCE REPORT FOR:  
**GILMAN HISTORIC RANCH  
& WAGON MUSEUM**

1901 West Wilson Street  
Banning, CA 92220

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## INTRODUCTION

Gilman Historic Ranch and Wagon Museum is located on the northern edge of Banning. Amenities include a historic house, wagon museum building, group picnic area, trails, interpretive garden, and interactive exhibits.

The accessibility compliance inspection for Gilman Ranch was performed on Thursday, January 25, 2018, with a start time of approximately 8:30 am. Scott Rice, CASp-709 toured the facility with remote coordination from Dayna Whitaker, and the direct accompaniment of on-site County personnel (Victoria).



*Pictured: While a sidewalk is present at Wilson Street, there is not currently any pedestrian connection between the sidewalk and the accessible portions of the facility.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Wilson Street. No kiosk is present. Nowhere along this entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is an existing sidewalk along the Ranch side of Gilman Street. However, the facility does not have a walkway connecting the sidewalk to the accessible portions of the facility. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION ITEM 0.2: Plan for providing an accessible route for pedestrian access from Wilson Street.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is Pass Transit. No existing routes travel past the entrance to the park site. The closest Pass Transit route to the site is Route 5 (Nicolet Street and 20th Street), approximately 0.3 miles between the bus stop and Gilman Ranch.

*ACTION: No action required by ADA nor CBC at the time of this report.*



# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

Gilman Historic Ranch & Wagon Museum includes a total of 52 marked off-street parking spaces, divided amongst four paved parking lots at various locations throughout the park site, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Near Historic House	2	0	0	0	2	1	0	1	No
Wagon Museum - mostly unpaved	50	48	0	0	2	2	0	1	Yes
<b>TOTAL</b>	<b>52</b>	<b>48</b>	<b>0</b>	<b>0</b>	<b>4</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Renovate one Designated Van-Accessible Parking Space near the historic house to be in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.2: Provide one Designated Van-Accessible Parking Space in the Wagon museum Parking lot, in compliance with CBC 11B-502.*

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at each of the four parking lots at Bogart Park currently allow for accessible parking to be located in close proximity to the building and/or key amenity they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

## 1.3 CONDITION OF ACCESSIBLE PARKING

All Designated Accessible Parking Spaces were deficient in terms of current accessibility codes. The two spaces located near the historic house only had concrete surface at the access aisle, with gravel in the spaces themselves. This does not allow for the International Symbol of Accessibility to be permanently affixed. The designated spaces near the wagon museum were entirely on gravel surface. See next page for action items.

*ACTION ITEM 1.3.1: Provide a firm, stable surface for all Designated Accessible Parking Spaces and associated Access Aisles in compliance with CBC 11B-502.*

*ACTION ITEM 1.3.2: Provide “NO PARKING” in 12” tall characters at the leading edge of the passenger loading zones at all designated accessible parking spaces, in compliance with CBC 11B-502.3.3.*

*ACTION ITEM 1.3.3: Provide “Minimum Fine: \$250” signage at ALL parking spaces as defined by CBC 11B-502.6.2; Recommendation is to replace all existing signage with the Caltrans R99 signage shown in the beginning of this report. Signage shall maintain 60” min. clearance where signs are located outside accessible routes, and 80” min. clear where located within accessible routes, as per CBC 11B-502.6.*

*ACTION ITEM 1.3.4: Provide accessible connections between Designated Accessible Parking Spaces and the buildings in which they serve. This includes the provision of clearly marked crossings and appropriate curb ramps and detectable warnings per CBC 11B-247.*



The Wagon Museum parking area currently utilizes only signage to designate the accessible parking spaces.



Directional signage indicating location of parking, but does not mention the two Designated Accessible Parking Spaces near the historic house.



No van signage; no continuous smooth surface. No International Symbol of Accessibility.





## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 GENERAL CIRCULATION

Circulation paths through the Gilman Ranch site generally do not provide accessible connections between amenities. There are no paths leading to the parking lot restroom. One concrete walkway extends down the slope toward the wagon museum, but it lacks the proper slopes and widths. Areas in front of the Wagon Museum entrance have slope issues, gaps, etc. Site furnishings are not compliant.

*ACTION ITEM 2.1: Revisit site connectivity and function, and provide a long-term plan for providing an accessible route that connects key site features to one another and to Designated Accessible Parking Spaces.*



*Narrow, steep turn in walkway connecting upper site features with Wagon Museum.*



*Long, narrow run with no landing or opportunity to pass; debris present on walkway surface; gaps present.*



*Very steep grade present at entry walk to historic house.*



*No van signage; no continuous smooth surface. No International Symbol of Accessibility.*

### 2.2 GROUP PICNIC AREA

The outdoor picnic area and other field trip amenities, such as sluice boxes for panning minerals, are generally far from compliant with current accessibility requirements. Existing site topography poses the biggest challenge, as even if individual features are made accessible, it will be difficult for wheelchair users to access said amenities.

*ACTION ITEM 2.2: Provide a long-term plan to regrade and or relocate amenity areas to provide an accessible route connecting them to one another and to the nearest sanitation facilities and Designated Accessible Parking Spaces.*



*Picnic tables located on noticeably steep slope (>5%) and covered with olives..*

### 2.3 DEMONSTRATION GARDEN

The Marshall French Gilman Native Plant Garden is located next to the Wagon Museum. Topographic challenges are also present within the garden.

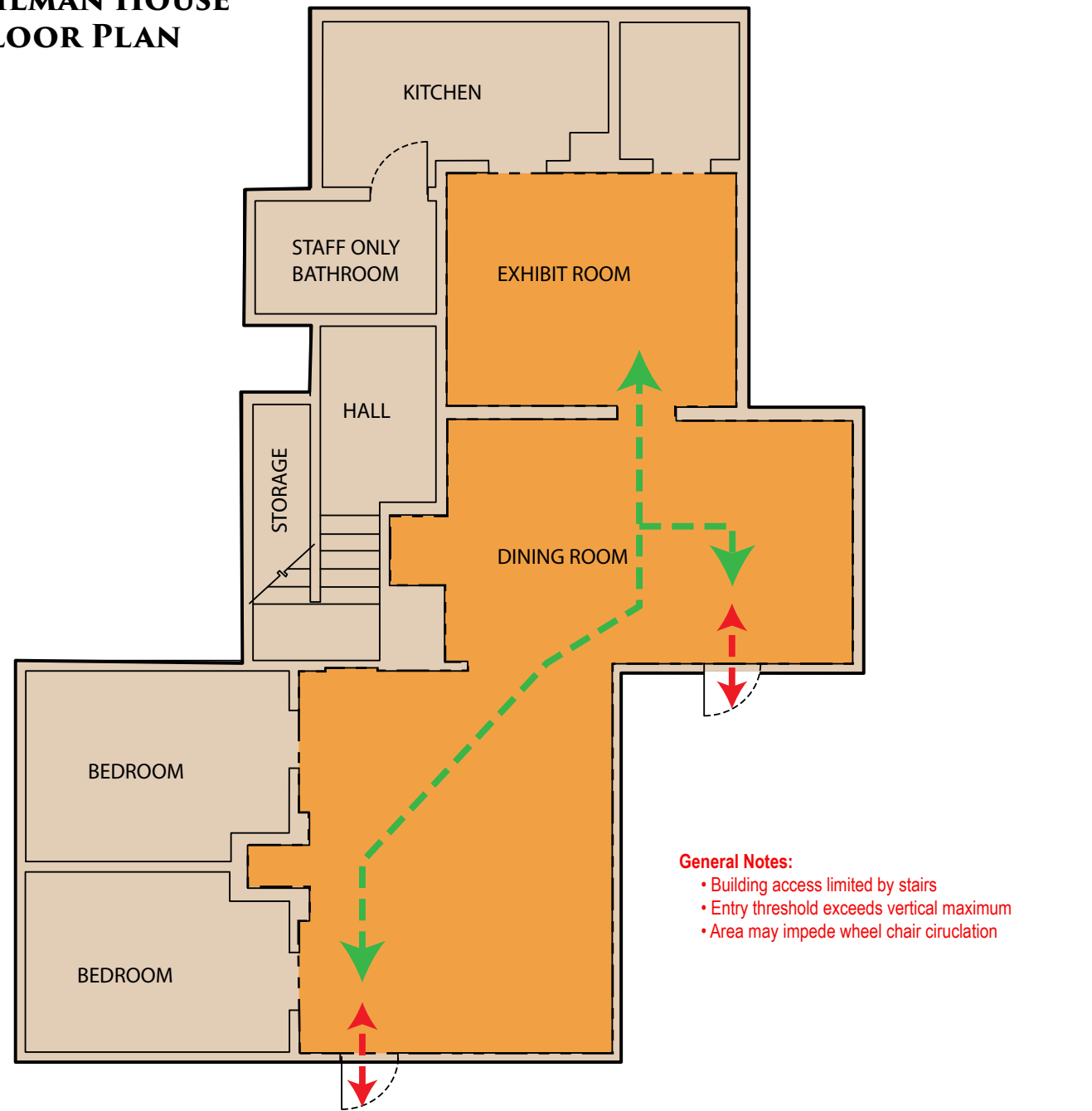
*ACTION ITEM 2.3: See Action Item 2.2 above.*



*Low overhead clearance at informational signage within Demonstration Garden.*



## GILMAN HOUSE FLOOR PLAN



**General Notes:**

- Building access limited by stairs
- Entry threshold exceeds vertical maximum
- Area may impede wheel chair circulation

**Legend**

	Sufficient Path of Travel		Building		Accessible Portion of Restroom
	Deficient Path of Travel		Building Entrance		
	Deficiency				NORTH NOT TO SCALE

## 3.0 BUILDINGS

There is currently four buildings within Gilman Ranch.

### 3.1 HISTORIC RANCH HOUSE

The Ranch House has been converted to a combination of museum space and staff only space. Because of the open floor configuration, and that the museum space is mostly for visual “hands off” experience, the accessibility component is fairly well met.



#### Notable Access Barriers:

##### General

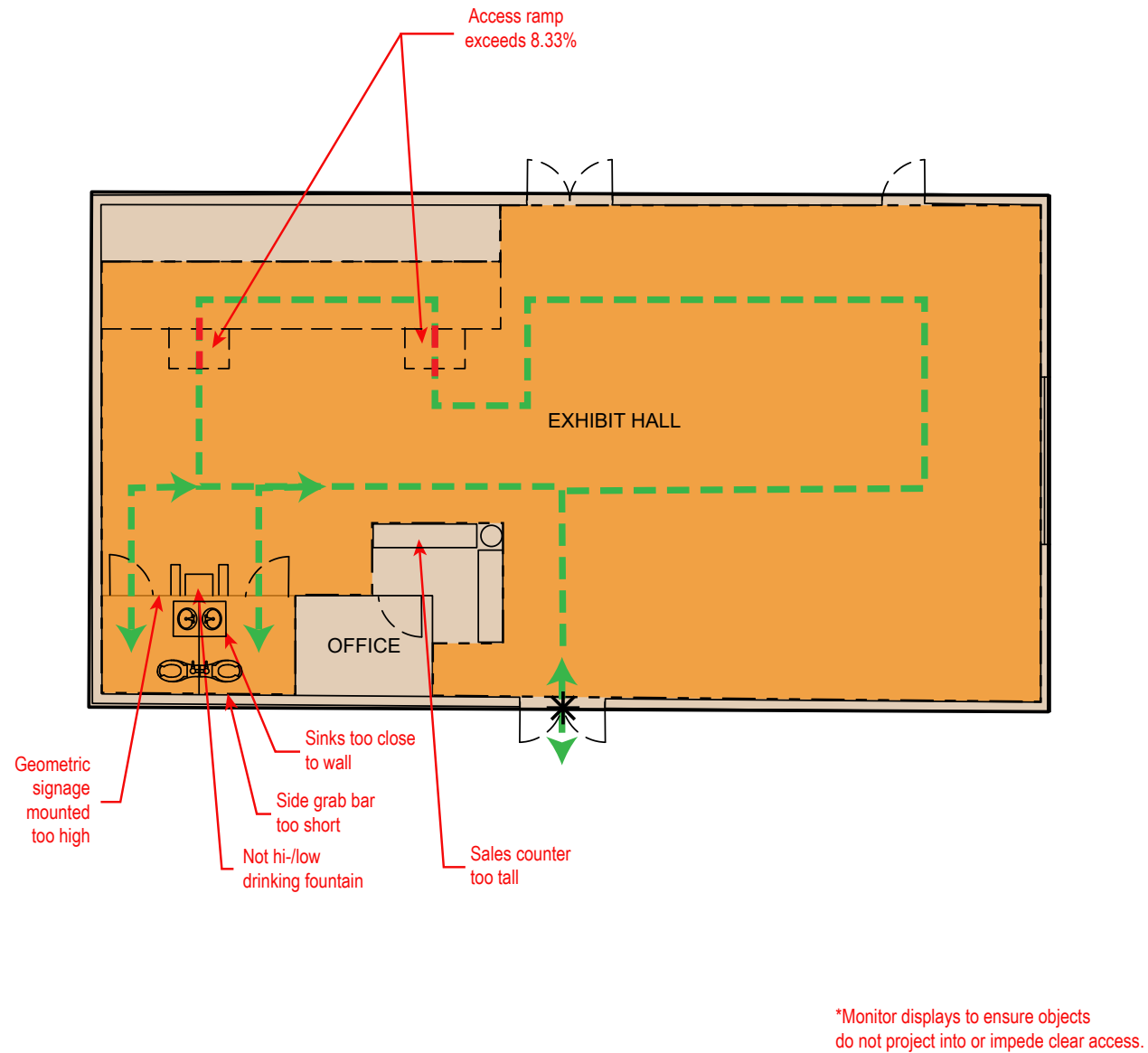
- Building access is limited by stairs. Wheelchair path not compliant between nearest Designated Accessible Parking Space and entry point.
- Entry threshold exceeds vertical maximum.
- Area rug impedes wheelchair circulation
- 



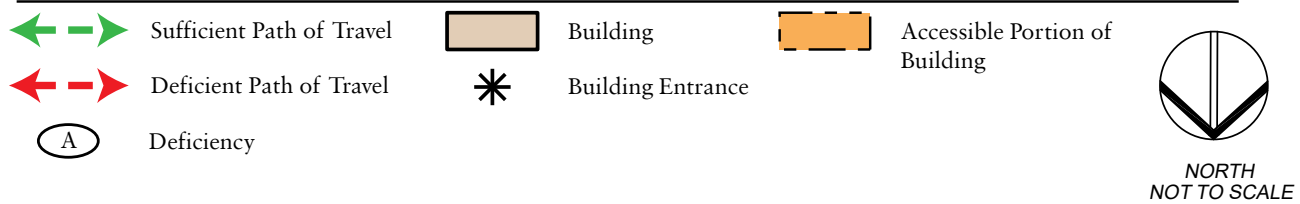
### 3.2 MAINTENANCE BUILDINGS/ ANCILLARY STRUCTURES

Not publicly accessed and therefore not included in this report.

# WAGON MUSEUM FLOOR PLAN



## Legend



## 3.3 WAGON MUSEUM

The Wagon Museum is generally open exhibit display space with internal restrooms.

### Notable Access Barriers:

#### General

- Care should be exercised to eliminate obstructions from reaching into wheelchair circulation space from displayed exhibits.
- Ramps to upper displays too steep (>8.33%) and do not provide suitable edge protection
- Sales counter too tall

#### Restroom

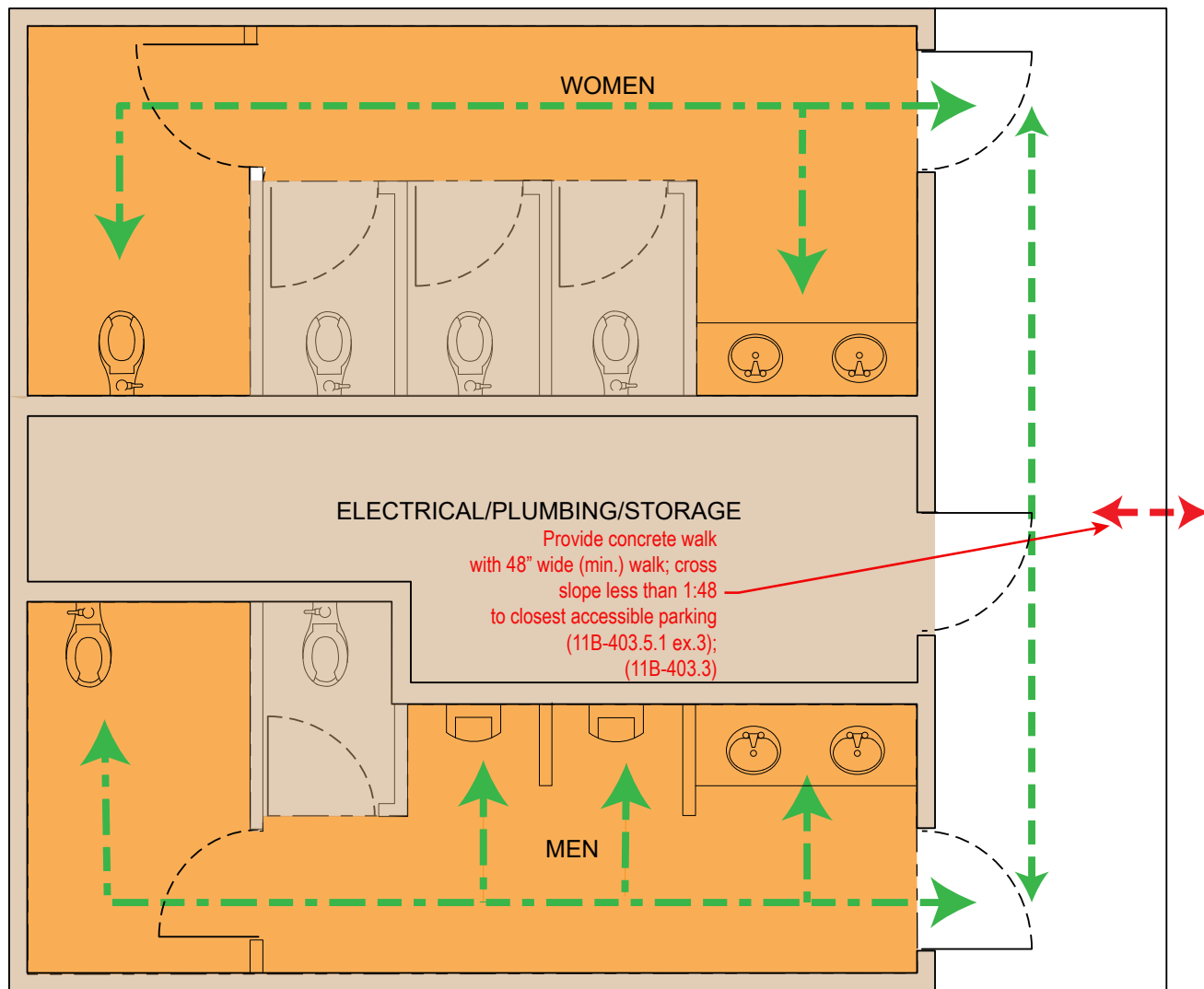
- Geometric signage mounted too high
- Side grab bar too short
- Loose trash container impedes transfer/ circulation space





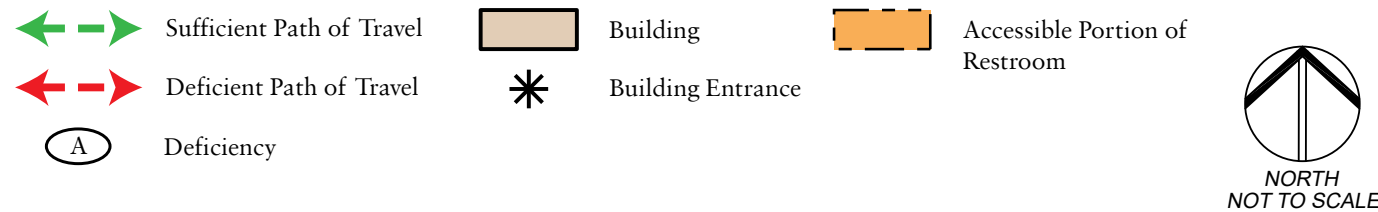
# RESTROOM BUILDING FLOOR PLAN

- General Notes:**
- No accessible path is present between restroom building and parking
  - Curb ramp leads restroom user into hazardous vehicle area



Add detectable warnings to curb ramp where it meets hazardous vehicle area

## Legend



## 3.4 RESTROOM BUILDING

This restroom is a newer model prefabricated unit. Spot check of key accessibility features indicated that this building appears to remain in compliance with current accessibility codes.

### Notable Access Barriers:

#### General

- No accessible path is present between restroom building and closest Designated Accessible Parking Spaces, nor to key site buildings or amenities
- Curb ramp leads restroom users into the hazardous vehicle area without detectable warnings.



**SUMMARY OF CORRECTIVE ITEMS:  
GILMAN HISTORIC RANCH AND WAGON MUSEUM**

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (2 total)	\$500	Immediate	
0.2	Provide access walk from Wilson Street to major site amenities	\$35,000	June 2023	
<b>1.0 PARKING</b>				
1.1.1	Renovate (1) Designated accessible parking space near historic house for full compliance	\$4,000	June 2020	
1.1.2, 1.3.1 - 1.3.4	Renovate (1) Designated accessible parking space near wagon museum for full compliance, along with (1) standard accessible space; will require new concrete	\$7,500	June 2021	
<b>2.1 GENERAL CIRCULATION</b>				
2.1.1	Revisit site connectivity walks - provide long term plan	\$150,000	June 2025	
<b>2.2 GROUP PICNIC AREA</b>				
2.2.1	Provide long term plan to regrade/ relocate group amenities to accommodate accessibility	\$100,000	June 2028	
<b>2.3 DEMONSTRATION GARDEN</b>				
2.3.1	Eliminate overhead obstructions; regrade excess slope; provide stable/ firm/ slip resistant walks	\$25,000	June 2023	
<b>3.1 HISTORIC RANCH HOUSE</b>				
3.1.1	Minor corrective items - see report	\$5,000	December 2018	
<b>3.3 WAGON MUSEUM</b>				
3.3.1	Minor/ moderate corrective items - see report	\$15,000	June 2021	
<b>3.4 RESTROOM BUILDING</b>				
3.4.1	No items within building; but see 2.1.1 for accessible path	\$15,000	June 2025	
	<b>TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)</b>	<b>\$357,000</b>		







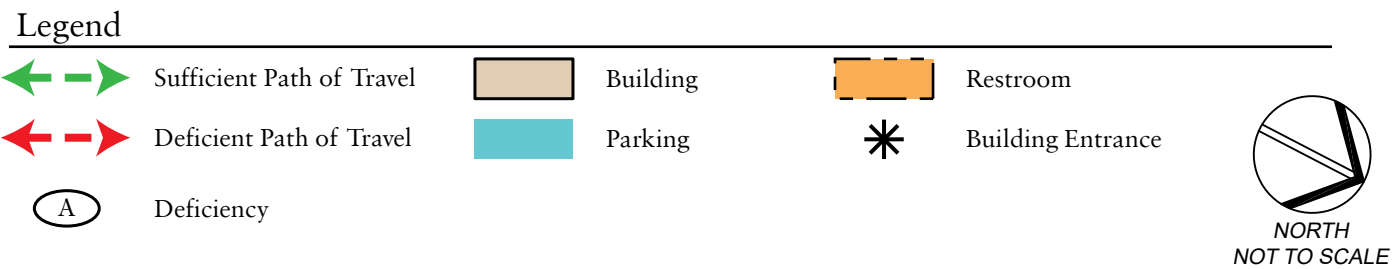
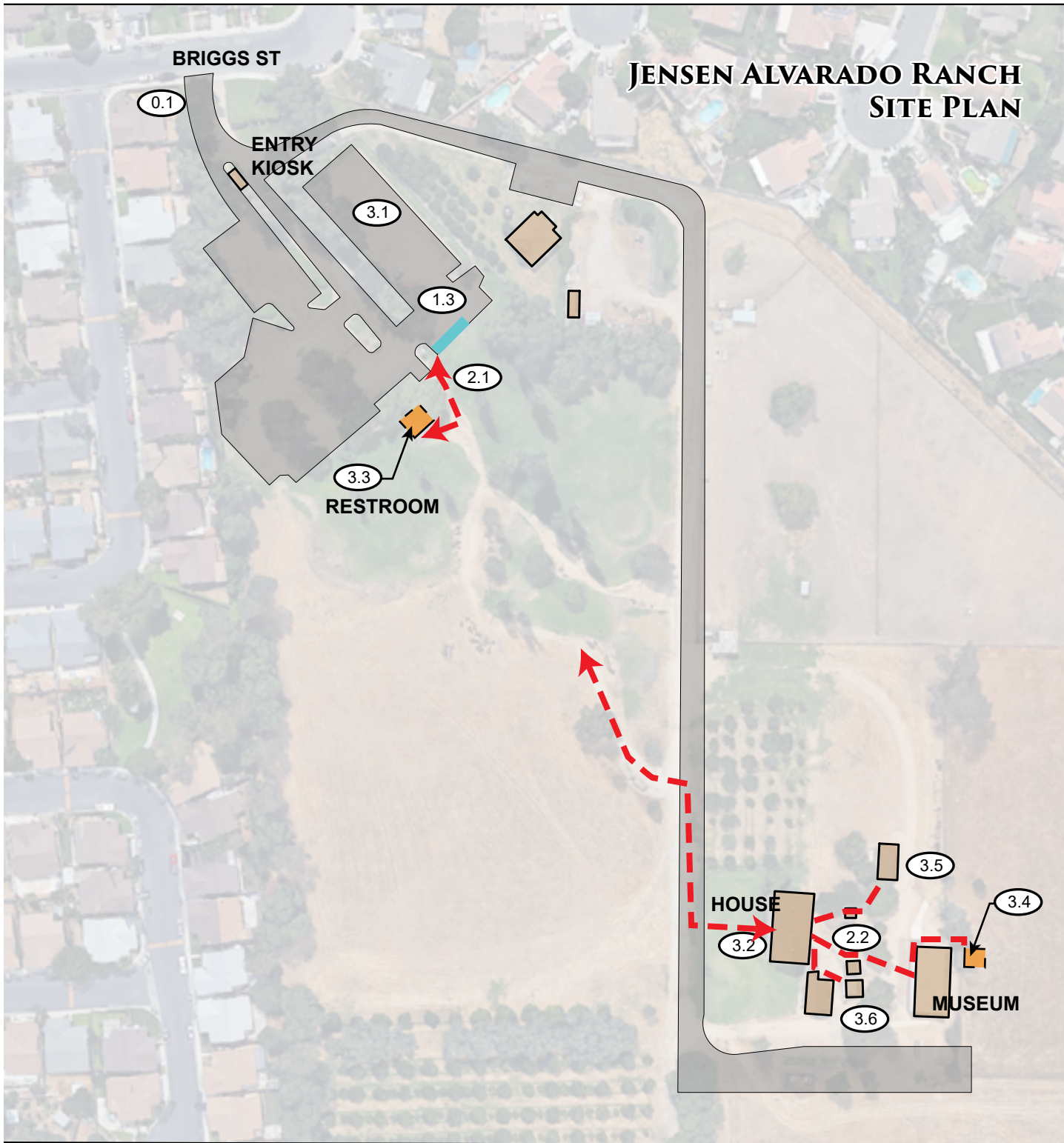
ACCESSIBILITY COMPLIANCE REPORT FOR:  
**JENSEN ALVARADO RANCH**

4307 Briggs Street  
Jurupa Valley, CA 92509

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## INTRODUCTION

Jensen Alvarado Ranch is nestled within a residential neighborhood in Jurupa Valley. Amenities include a historic house, museum building, group picnic area, and interactive exhibits.

The accessibility compliance inspection for Jensen Alvarado Ranch was performed on Friday, January 19, 2018, with a start time of approximately 2:30 pm. Scott Rice, CASp-709 toured the facility with remote coordination from Margie Valdez, and the direct accompaniment of on-site County personnel.



*Pictured: Entry drive from Briggs Street into Jensen Alvarado Ranch. Visitors to the site arrive primarily through vehicles, as no improved walkways are provided into the site.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Briggs Street. Inbound traffic is controlled by an entry kiosk. Nowhere along this entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

While an existing sidewalk is present at Briggs Street, there is no designated pedestrian connection to the accessible portions of the facility from the street sidewalk. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION ITEM 0.2: Plan for providing an accessible route for pedestrian access from Briggs Street into the facility.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is RTA. No existing routes travel past the entrance to the park site. The closest RTA route to the site is Route 49 (Mission Boulevard and Avalon Street), approximately 0.5 miles between the bus stop and Jensen Alvarado Ranch.

*ACTION: No action required by ADA nor CBC at the time of this report.*



## 1.0 PARKING ANALYSIS

### 1.1 OVERVIEW OF OFF-STREET PARKING

Jensen Alvarado Ranch includes a total of 109 unmarked, unpaved off-street parking spaces, all contained within one lot near the park entrance, including the following:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Main Lot - mostly unpaved	109	98	7	0	4	5	0	1	No
<b>TOTAL</b>	<b>109</b>	<b>98</b>	<b>7</b>	<b>0</b>	<b>4</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1: Provide one Designated Van-Accessible Parking Space and loading zone in the Main Parking lot, in compliance with CBC 11B-502. Additionally, provide a minimum of four standard accessible parking spaces in an adjacent location.*

### 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at the four parking lots at Jensen Alvarado Ranch currently allows for accessible parking to be located in close proximity to the building and/or key amenity they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*

### 1.3 CONDITION OF ACCESSIBLE PARKING

The existing Designated Accessible Parking Spaces consist of dilapidated signage only, and do not provide any sort of connection to the facility amenities.

*ACTION ITEM 1.3.1: See Action Item 1.1 above, and provide an accessible path from the new Designated Accessible Parking Spaces to the major accessible amenities throughout the site.*



*Designated Accessible Parking Spaces are currently by suggestion only, and are completely out of compliance in every way.*

## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 GENERAL CIRCULATION

Circulation paths through the Jensen Alvarado Ranch site match the historic character of the ranch. However, dirt paths are not firm in all areas and also exceed slope tolerances.

*ACTION ITEM 2.1: Revisit site connectivity and function, and provide a long-term plan for providing an accessible route that connects key site features to one another and to Designated Accessible Parking Spaces.*

### 2.2 FIELD TRIP AREAS

As the majority of the site does not have concrete or other permanent surfacing, accessibility is currently a site-wide challenge.

*ACTION ITEM 2.1: See Action Item 2.1 above. While small steps can be taken, such as providing an accessible picnic table at the grouping of existing tables, getting from one place to another remains to be a challenge for wheelchair users and persons with limited mobility.*



*Picnic tables present at site currently offer no option for accessibility.*

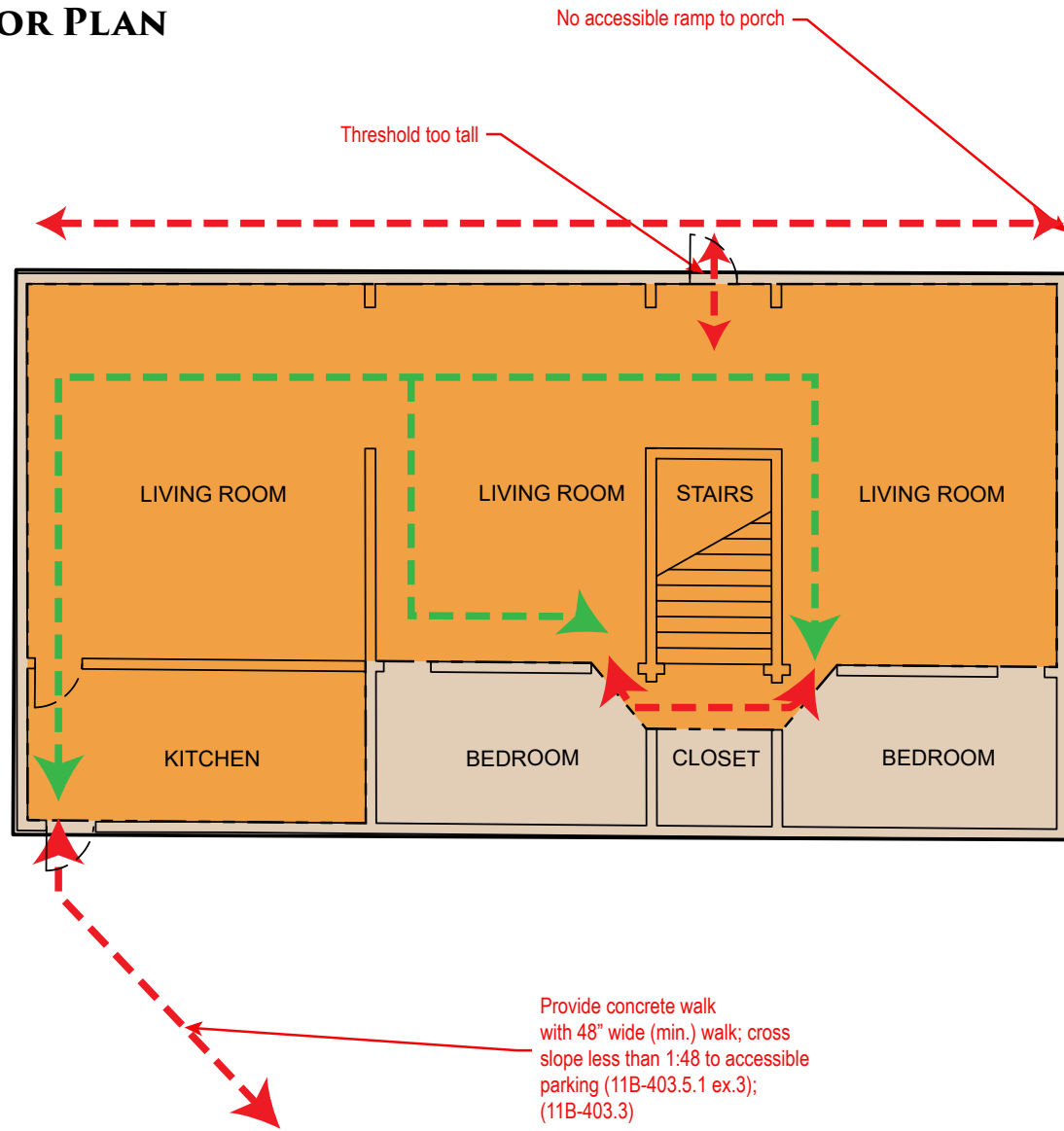


*Picnic tables present at site currently offer no option for accessibility.*

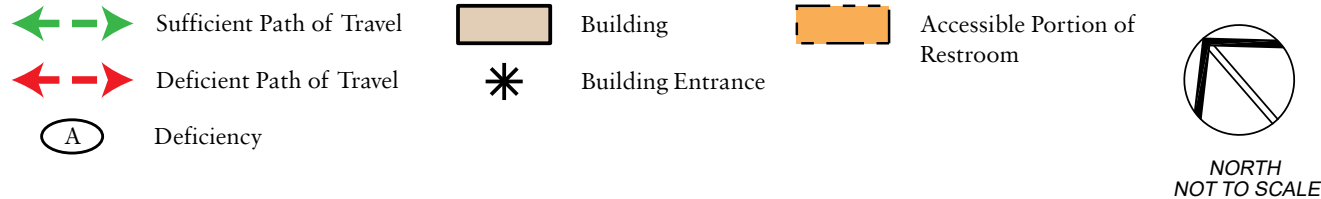


*Most site circulation areas are on native soil, and are subject to seasonal changes in firmness and stability, with erosion a key factor.*

# HISTORIC HOUSE FLOOR PLAN



## Legend



## 3.0 BUILDINGS

We reviewed four buildings during our visit to Jensen Alvarado Ranch.

### 3.1 ENTRY KIOSK

The Entry gate kiosk is not a publicly accessed building. The County employee accommodates park patrons at their vehicle.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 3.2 HISTORIC HOUSE

The historic house exhibits similar challenges as seen at Gilman Ranch.

#### Notable Access Barriers:

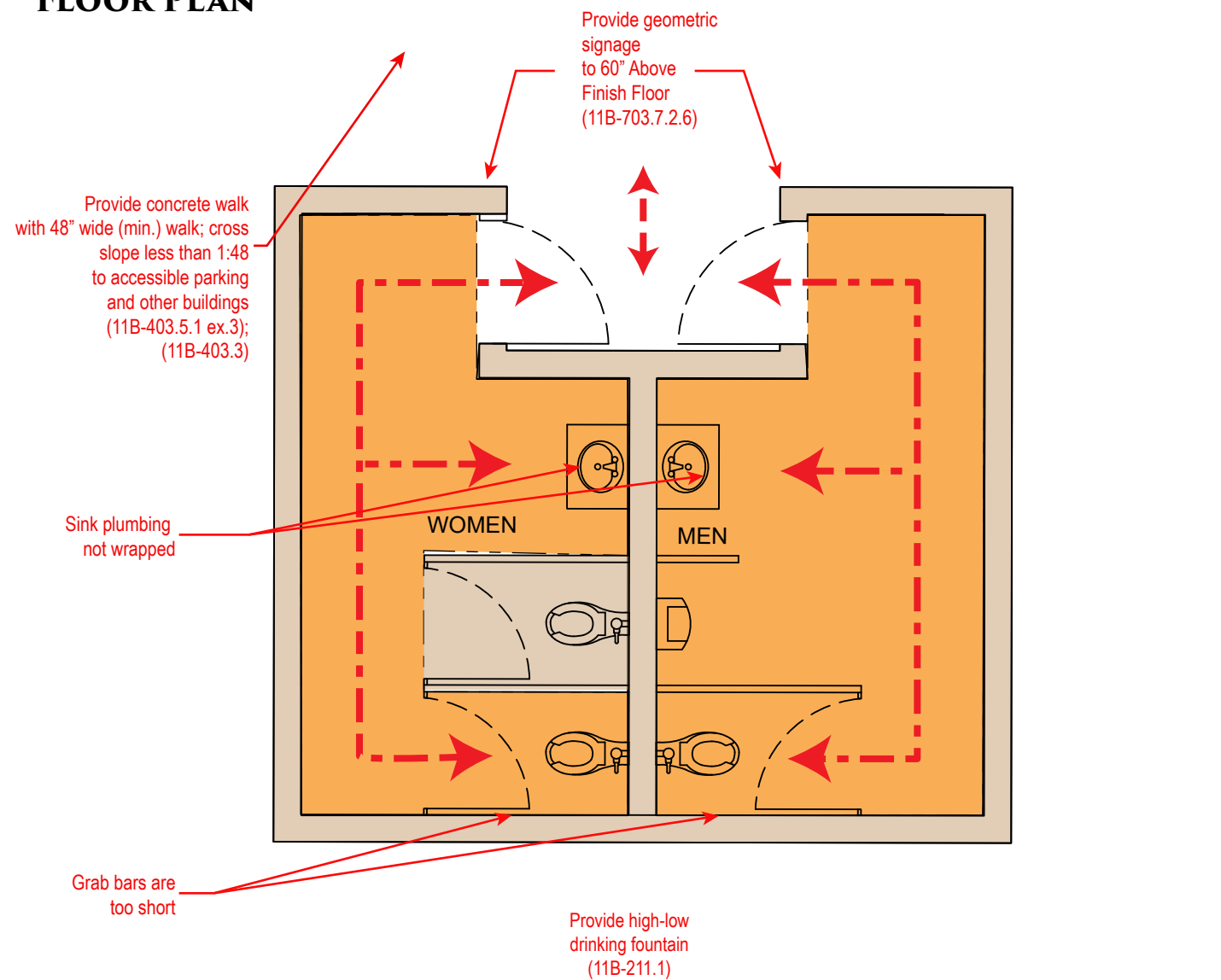
#### General

- Building access is limited by stairs. Wheelchair path not compliant between nearest Designated Accessible Parking Space and entry point.
- Entry threshold exceeds vertical maximum.
- Area rug impedes wheelchair circulation

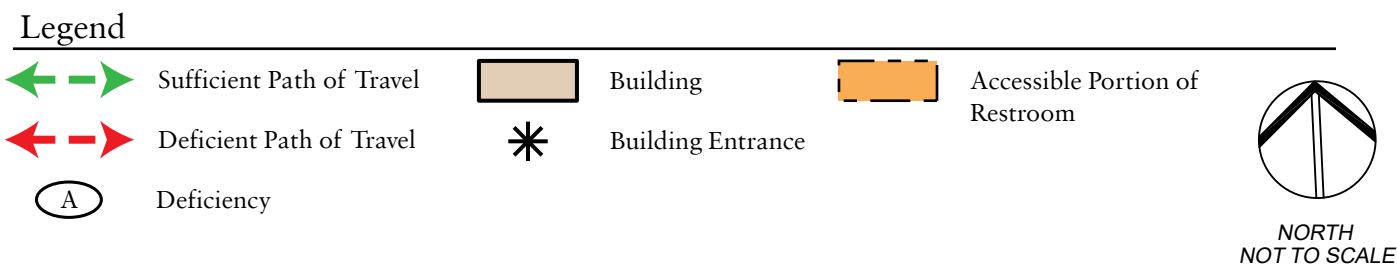




## RESTROOM NEAR PARKING FLOOR PLAN



**RESTROOM IS GENERALLY NON-COMPLIANT; PROVIDE DIRECTIONAL SIGNAGE INDICATING LOCATION OF NEAREST ACCESSIBLE TOILET ROOM (11B-216.8)**



## 3.3 RESTROOM BUILDING NEAR PARKING

This restroom building is not recent construction, but has some accessible features.

### Notable Access Barriers:

#### General

- No accessible path from parking nor other site buildings
- No geometric signage present
- Sink plumbing not wrapped
- All grab bars insufficient length
- Drinking fountain does not meet high-low requirements.



## 3.4 RESTROOM BUILDING NEAR GARAGE

This restroom is a comparable structure to the entry restroom, and shares the same action items.

See 3.3 above.



### 3.5 FIELD TRIP BUILDINGS

These buildings are not generally compliant, but Ranger staff noted that the County staff regularly accommodates wheelchair users when access barriers become apparent.

*Notable Access Barriers:*

General

- No accessible path from parking nor other site buildings
- Access walk needs to be reconstructed as a ramp to accommodate the change in elevation with handrails and landings



### SUMMARY OF CORRECTIVE ITEMS: JENSEN ALVARADO RANCH

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (1 total)	\$500	Immediate	
0.2	Provide access walk from Briggs Street to major site amenities	\$25,000	June 2023	
<b>1.0 PARKING</b>				
1.1.1, 1.3.1	Renovate (1) Designated accessible parking space near wagon museum for full compliance, along with (4) standard accessible spaces; will require new concrete	\$25,000	June 2021	
<b>2.1 GENERAL CIRCULATION</b>				
2.1.1	Revisit site connectivity walks - provide long term plan	\$150,000	June 2028	
<b>2.2 FIELD TRIP AREAS</b>				
2.2.1	Provide long term plan to regrade/ relocate group amenities to accommodate accessibility	\$100,000	June 2025	
<b>3.1 HISTORIC RANCH HOUSE</b>				
3.1.1	Minor corrective items - see report	\$5,000	June 2020	
<b>3.3 RESTROOM BUILDING NEAR PARKING</b>				
3.3.1	Minor/ moderate corrective items - see report	\$15,000	June 2023	
<b>3.4 RESTROOM BUILDING NEAR GARAGE</b>				
3.4.1	Minor/ moderate corrective items - see report	\$15,000	June 2023	
<b>3.5 FIELD TRIP BUILDINGS</b>				
3.5.1	Minor/ moderate corrective items - see report	\$3,000	June 2020	
<b>TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)</b>		<b>\$338,500</b>		

### 3.6 ANCILLARY/ AGRICULTURAL BUILDINGS

Not included in this report.







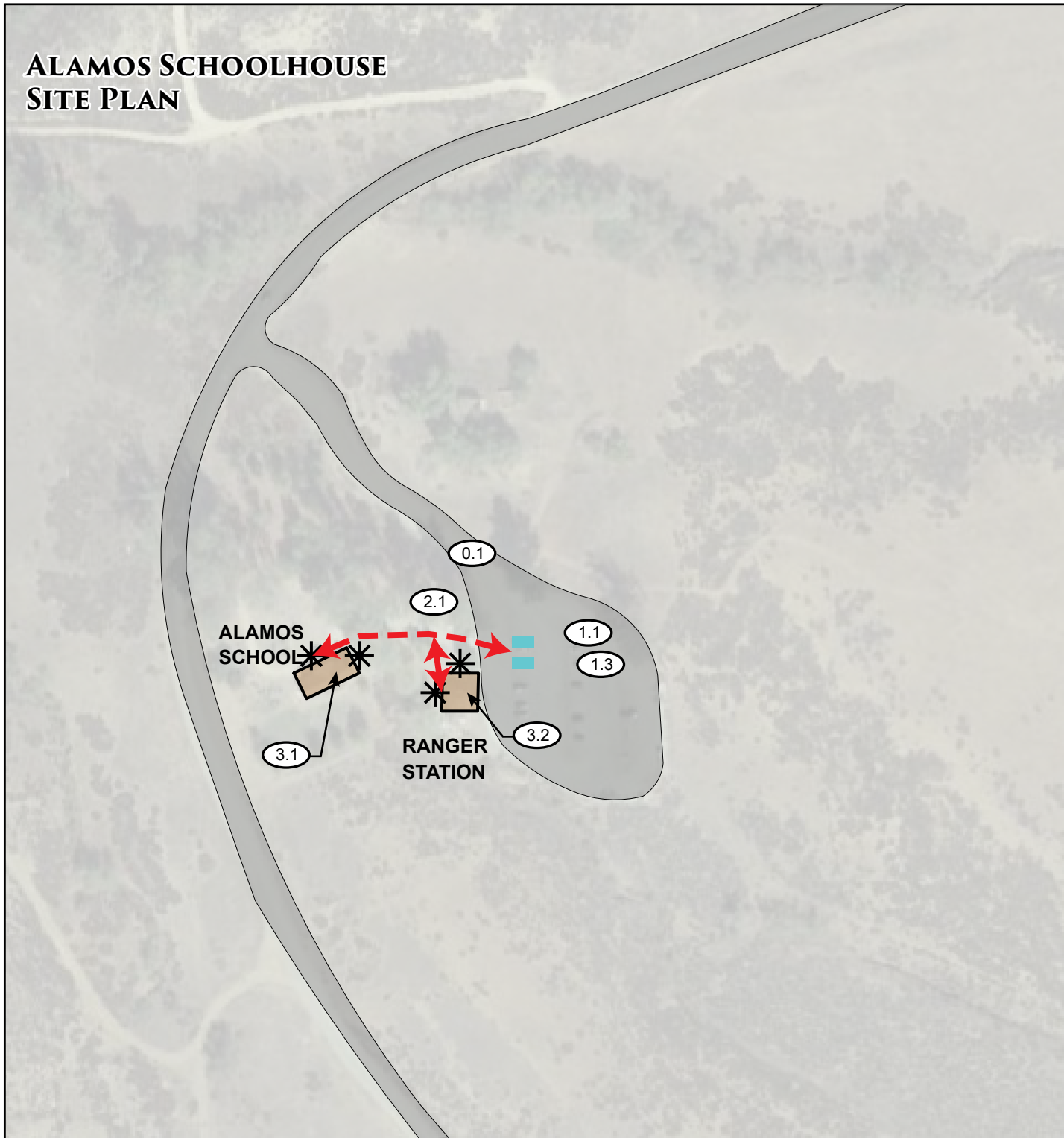
ACCESSIBILITY COMPLIANCE REPORT FOR:  
**ALAMOS SCHOOLHOUSE**

Located within Lake Skinner Recreation Area  
37701 Warren Road  
Winchester, CA 92596

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# ALAMOS SCHOOLHOUSE SITE PLAN



### Legend

	Sufficient Path of Travel		Building		Restroom		
	Deficient Path of Travel		Parking		Building Entrance		
	Deficiency						NORTH NOT TO SCALE

## INTRODUCTION

Alamos Schoolhouse is located within the secured perimeter of Lake Skinner Recreation Area. Due to the semi-rural location of Lake Skinner, visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for Alamos Schoolhouse was performed on Tuesday, February 13, 2018, with a start time of approximately 9:00 am. Scott Rice, CASp-709 toured the facility with direct accompaniment of Yun Baird, Senior Park Planner.



*Pictured: Unpaved Entry walk from parking area to Alamos Schoolhouse.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from Warren Road. Nowhere along this entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk on either side of rural Warren Road, nor is a walkway provided into the site from the Warren Road entry. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The local rapid transit provider is RTA. No existing routes travel past the entrance to the park site. The closest RTA route to the site is Route 79. The closest bus stop is located at Southwest Detention Center on Auld Road, approximately 6 miles from the main entrance to Lake Skinner.

*ACTION: No action required by ADA nor CBC at the time of this report.*





## 1.0 PARKING ANALYSIS

### 1.1 OVERVIEW OF OFF-STREET PARKING

Alamos Schoolhouse includes a total of approximately 66 unmarked, unpaved off-street parking spaces, all contained within one lot near the historic schoolhouse building within Lake Skinner, including the following::

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Main Lot - mostly unpaved	66	64	0	0	2	3	1	1	No
<b>TOTAL</b>	<b>66</b>	<b>64</b>	<b>0</b>	<b>0</b>	<b>2</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Provide one Designated Van-Accessible Parking Space in compliance with CBC 11B-502.*

*ACTION ITEM 1.1.2: In addition to Action Item 1.1.2 above, provide one Standard Accessible Parking Space in the Oak Parking lot, in compliance with CBC 11B-502.*



Designated Accessible Parking Spaces near Alamos Schoolhouse consists of signage only.

### 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas at this parking lot currently allows for accessible parking to be located in close proximity to the building and/or key amenity they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed.*

### 1.3 CONDITION OF ACCESSIBLE PARKING

Accessible Parking near Alamos Schoolhouse is designated by signage only, but does not meet any of the other current requirements.

*ACTION ITEM 1.3.1: See Action Items 1.1.1 and 1.1.2 above.*



The existing signage does not meet the current mounting heights outlined in the California Building Code.

## 2.0 SITE CIRCULATION AND AMENITIES

### 2.1 WALK FROM PARKING TO SCHOOLHOUSE

Circulation paths through the Alamos Schoolhouse site is compacted native soil only. An aluminum wheelchair ramp has been constructed at the schoolhouse. A few picnic tables are provided near the schoolhouse.

*ACTION ITEM 2.1.1: Provide an accessible path connecting the Designated Accessible Parking Spaces to the school entrance.*

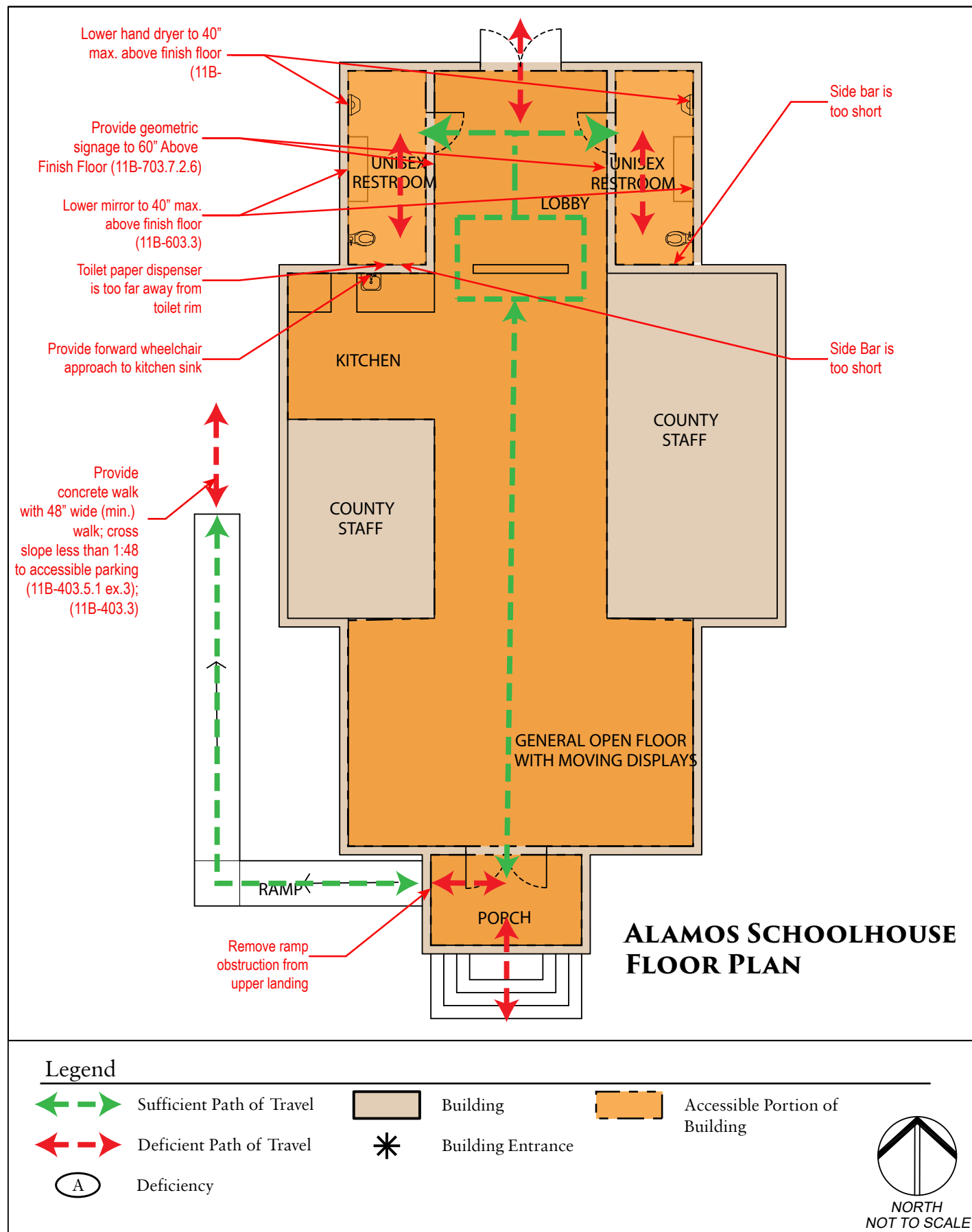
*ACTION ITEM 2.1.2: Provide an accessible picnic table at the grouping of picnic tables near the schoolhouse.*



Picnic tables near schoolhouse.



A wooden bridge provides a picturesque, yet non-accessible connection to the schoolhouse.



### 3.0 BUILDINGS

There are currently two buildings at Alamos Schoolhouse.

#### 3.1 ALAMOS SCHOOLHOUSE

This schoolhouse has been converted into an exhibit and office space.



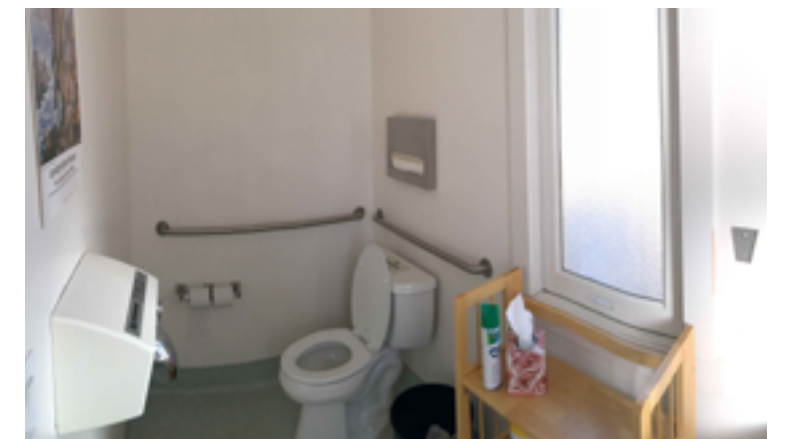
#### Notable Access Barriers:

##### General

- No accessible path from parking nor other site buildings
- Kitchen sink does not allow for forward wheelchair approach
- Exterior ramp surface blocked at upper landing

##### Restroom

- Restrooms do not provide geometric signage
- Restroom width too narrow for wheelchair circulation
- Hand dryer mounted above maximum reach range
- Toilet paper mounted too far in front of toilet rim
- Mirrors mounted too high
- Side grab bars too short





## SUMMARY OF CORRECTIVE ITEMS:

### ALAMOS SCHOOLHOUSE

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
GENERAL SITE				
0.1	Provide Tow-Away Signage; recommend one per parking lot (1 total)	\$500	Immediate	
1.0 PARKING				
1.1.1, 1.1.2, 1.3.1	Renovate (1) Designated accessible parking space near wagon museum for full compliance, along with (2) standard accessible spaces; will require new concrete	\$15,000	June 2021	
2.1 WALK FROM PARKING TO SCHOOLHOUSE				
2.1.1	Provide site connectivity walk from parking to building ramp	\$25,000	June 2021	
2.2 FIELD TRIP AREAS				
2.2.1	Provide long term plan to regrade/ relocate group amenities to accommodate accessibility	\$100,000	June 2025	
3.1 SCHOOLHOUSE				
3.1.1	Minor/ moderate corrective items - see report	\$25,000	June 2023	
3.1.2	Restrooms too narrow for wheelchair circulation; provide accessible "outhouse" building	\$50,000	June 2028	
3.1.2 interim	Provide Accessible Portable Restroom and hand washing station near schoolhouse	\$1,000	Immediate	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$216,500		







ACCESSIBILITY COMPLIANCE REPORT FOR:  
**SAN TIMOTELO CANYON  
SCHOOLHOUSE**

31985 San Timoteo Canyon Road  
Redlands, CA 92373

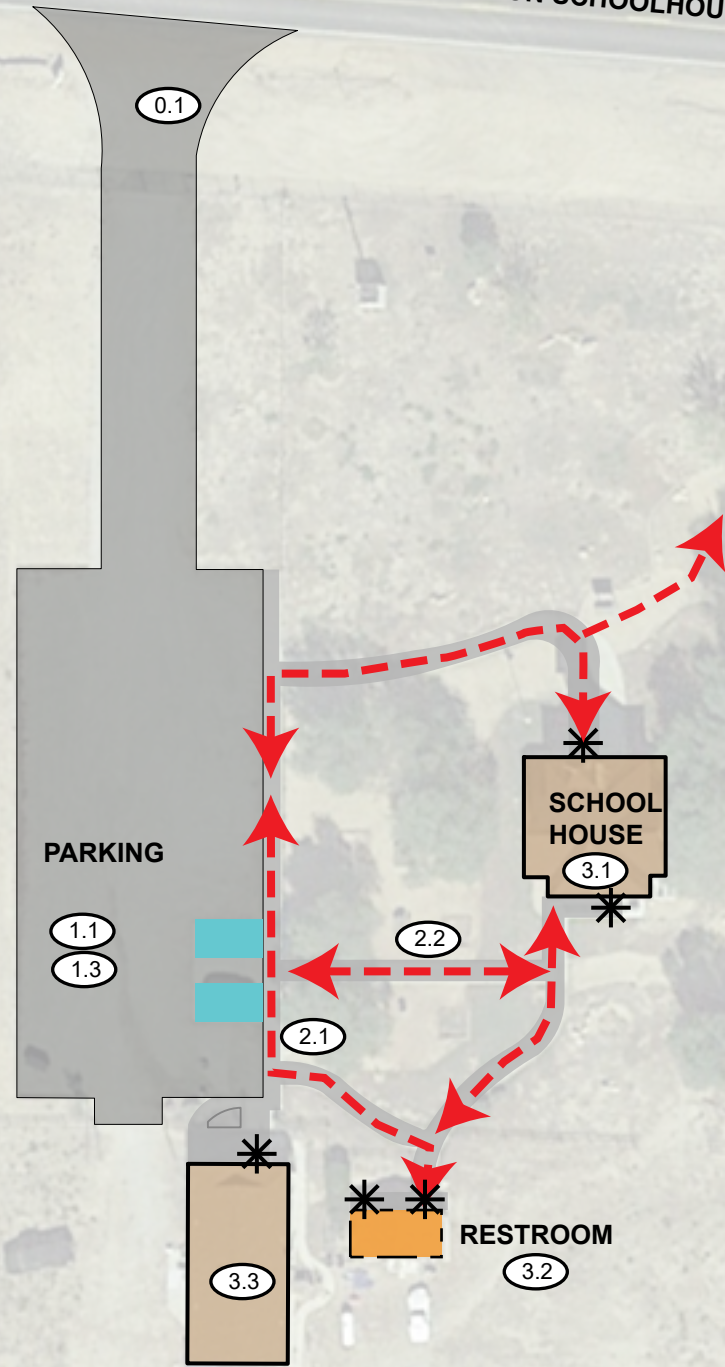
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# SAN TIMOTEO SCHOOLHOUSE SITE PLAN

SAN TIMOTEO CANYON SCHOOLHOUSE



## Legend

	Sufficient Path of Travel		Building		Restroom	
	Deficient Path of Travel		Parking		Building Entrance	
	Deficiency					

NORTH  
NOT TO SCALE

## INTRODUCTION

San Timoteo Canyon Schoolhouse is located in San Timoteo Canyon between Beaumont and Redlands. The facility consists of a historic schoolhouse supplemented with rural, modernized amenities, common parking lot, picnic area, restroom building and caretaker residence. All visitors to the site primarily arrive by private vehicle.

The accessibility compliance inspection for San Timoteo Canyon Schoolhouse was performed on Wednesday, February 7, 2018, with a start time of approximately 8:00 am. Scott Rice, CASp-709 toured the facility with direct accompaniment of the property caretaker, Ernie Mejia.



*Pictured: Gravel parking lot at San Timoteo Canyon Schoolhouse.*

## SITE ENTRY POINTS

### 0.1 VEHICULAR

There is one vehicular ingress/ egress point that serves the property from San Timoteo Canyon Road. Nowhere along this unpaved entry drive is a sign required by CBC 11B-502.8, warning that unauthorized vehicles parked in designated accessible parking spaces will be towed at the Owner's expense.

*ACTION ITEM 0.1: Provide Towing signage at a conspicuous location near the entrance to the off-street parking facility, or adjacent to each separate area of on-site accessible parking, in compliance with CBC 11B-502.8*

### 0.2 PEDESTRIAN

There is no existing sidewalk along rural San Timoteo Canyon Road, nor is a walkway provided into the site. Pedestrian access first becomes apparent at the designated accessible parking spaces. Per exception #2 of CBC 11B-206.2.1, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing pedestrian access.

*ACTION: No action required by ADA nor CBC at the time of this report.*

### 0.3 RAPID TRANSIT

The closest local rapid transit providers are Riverside Transit Agency and Pass Transit. No existing routes travel through San Timoteo Canyon. The closest route to the site is Pass Transit Route 3/ RTA Route 210 (Beaumont Walmart Transfer Station), approximately 9 miles between the bus stop and San Timoteo Canyon Schoolhouse.

*ACTION: No action required by ADA nor CBC at the time of this report.*





# 1.0 PARKING ANALYSIS

## 1.1 OVERVIEW OF OFF-STREET PARKING

San Timoteo Canyon Schoolhouse consists of one lot consisting of mostly unpaved parking, with paving only occurring at the Designated Accessible Parking Spaces near the Building. See parking breakdown below:

Lot Description	Total Space Count	Unrestricted Spaces	Restricted/ Non-DAPS Spaces	EV Charging	Designated Accessible Parking Spaces				
					Total DAPS Prov	Total DAPS Req	Van Prov	Van Req	Provided > Required?
Main Lot - mostly unpaved	29	27	0	0	2	2	1	1	Yes
<b>TOTAL</b>	<b>29</b>	<b>27</b>	<b>0</b>	<b>0</b>	<b>2</b>				

11B-208.1 of the California Building Code requires designated accessible parking spaces to be provided at all locations where off-street parking is provided. Therefore, the parking count listed above does not account for unpaved (dirt) overflow parking areas on site, where no markings are provided to define individual spaces.

*ACTION ITEM 1.1.1: Renovate the designated accessible parking spaces to meet full compliance with CBC 11B-502. This includes removal and replacement of concrete with a surface that does not exceed 1:48 slope in any direction, as well as all applicable signage and striping.*



Designated Accessible Parking Spaces are located in close proximity to the ramped entrance to the schoolhouse and restroom building.

## 1.2 DISPERSION OF ACCESSIBLE PARKING

The dispersion of designated accessible parking areas within this parking lot currently allows for accessible parking to be located in close proximity to the building and/or key amenity they serve, in line with the dispersion requirements of CBC 11B-208.3.1.

*ACTION: No action required by ADA nor CBC at the time of this report. However, see 1.3 for corrections needed to specific elements of the various designated accessible parking spaces.*



Parking space and access aisle exceeds 1:48 slope. Signage is not present. International Symbol of Accessibility is located deep within the space.

## 1.3 CONDITION OF ACCESSIBLE PARKING

See Action Item 1.1 above, and photos to the right.

# 2.0 SITE CIRCULATION AND AMENITIES

## 2.1 GENERAL CIRCULATION

Most major features of the site are connected to one another with concrete walks. This includes the Designated Accessible Parking Spaces, Schoolhouse, and Restroom Building. Picnic areas and secondary circulation paths are Decomposed Granite.

*ACTION ITEM 2.1: Provide realigned circulation walkway to connect the Designated Accessible Parking Spaces with all provided amenities, including but not limited to the schoolhouse, restroom, and picnic table grouping. This will likely require a substantially different walkway location in order to accommodate accessibility requirements given the existing sloped topography.*

## 2.2 PICNIC AREA

The picnic table area has a running slope, falling toward the north at approximately 6%.

*ACTION ITEM 2.2: Provide at least one accessible picnic table on an accessible route.*



Large gaps were present at concrete joints.



Picnic tables measured over 6% of slope, parallel with the sloped Decomposed Granite surface on which they are placed.

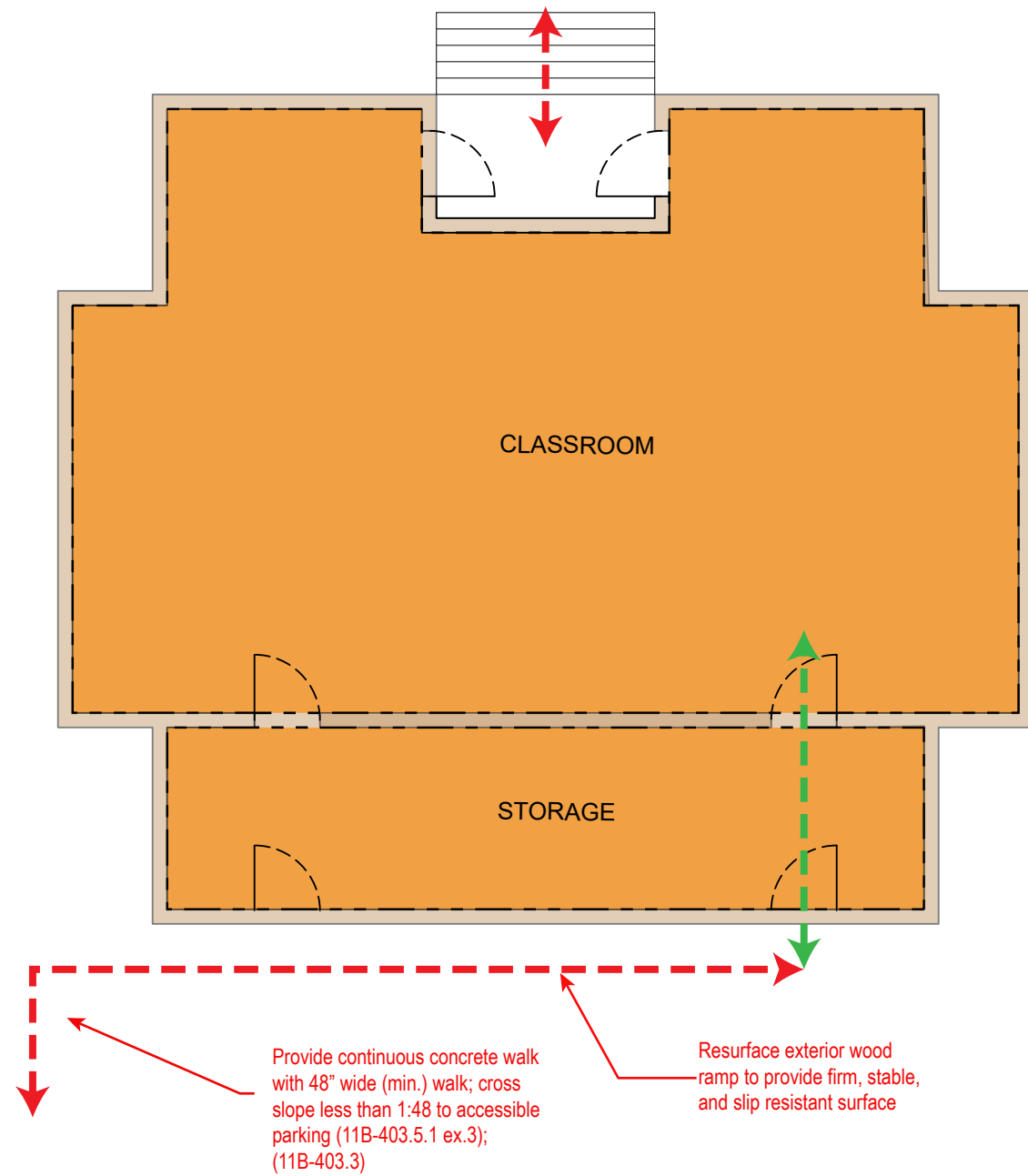


The picnic table area can potentially be regraded to provide a level surface, allowing for an accessible picnic table to be provided.

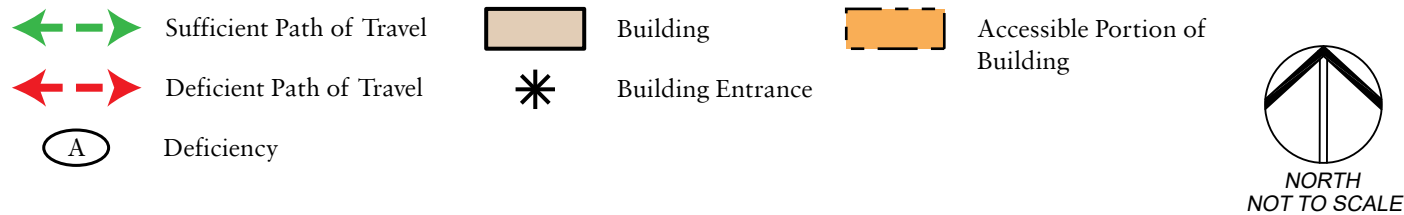




**SAN TIMOTEO  
SCHOOLHOUSE  
FLOOR PLAN**



**Legend**



**3.0 BUILDINGS**

There are currently two publicly accessed buildings at San Timoteo Schoolhouse.

**3.1 SAN TIMOTEO CANYON SCHOOLHOUSE**

This schoolhouse is maintained as a snapshot of historic conditions. General circulation within the building is achievable with wheelchair access provided by an exterior access ramp.



*Notable Access Barriers:*

**General**

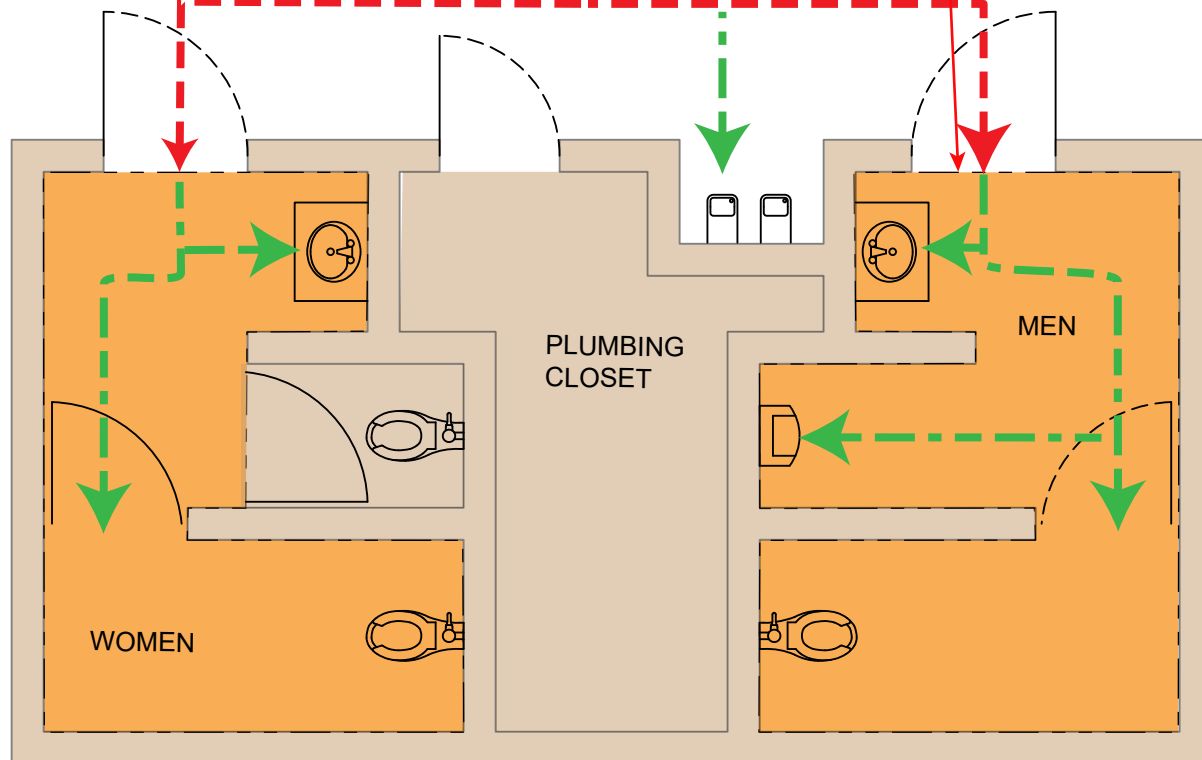
- Exterior wood ramp needs servicing to maintain a firm, stable and slip resistant surface
- Continuous accessible path not present to parking nor restroom



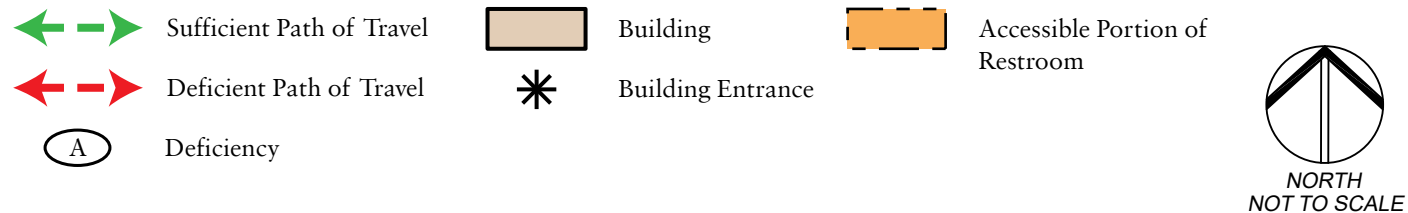
# RESTROOM FLOOR PLAN

Remove/replace concrete walk with 48" wide (min.) walk; cross slope less than 1:48 (11B-403.5.1 ex.3); (11B-403.3)

Fill in vertical/horizontal gap between building slab and on-site concrete flatwork



## Legend



## 3.2 RESTROOM

The building is a fairly newer model prefabricated restroom building. Spot checking of key accessible features reveals that the building maintains general compliance with current accessibility codes.

### Notable Access Barriers:

#### General

- No continuous accessible path from parking nor other site buildings
- Vertical/horizontal gap present where building slab meets on-site concrete flatwork at men's room door threshold.



## 3.3 CARETAKER RESIDENCE

Not a publicly accessed building, therefore has not been included within this report.

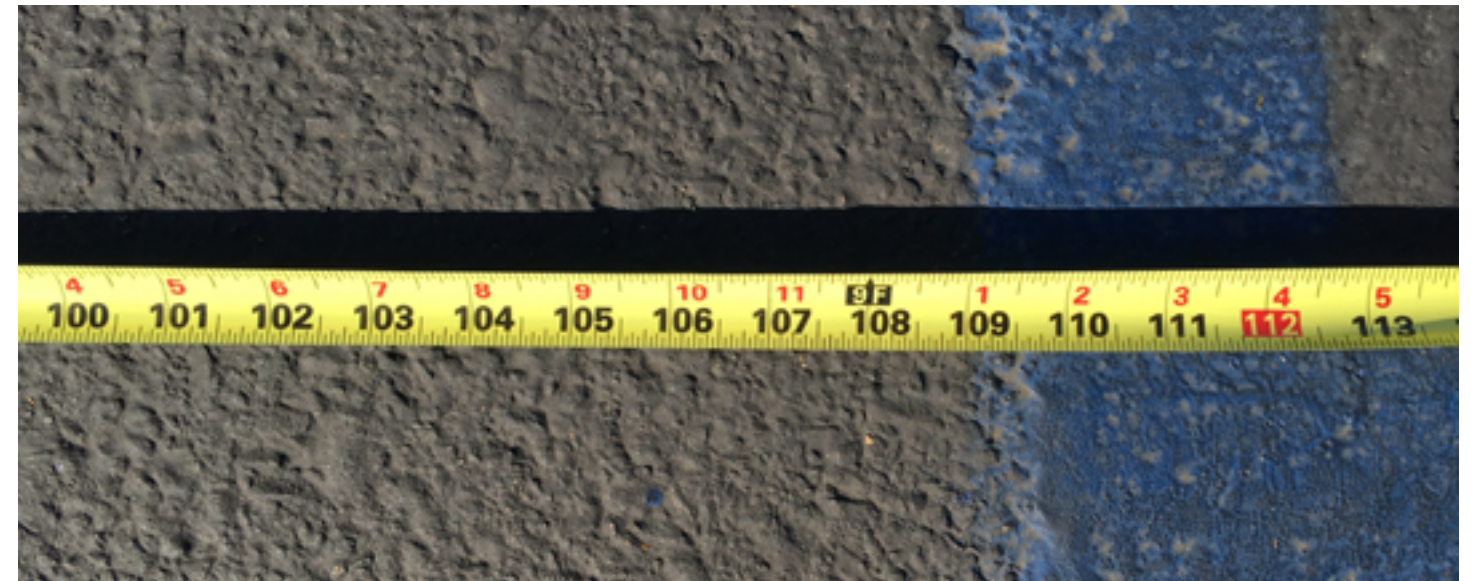




**SUMMARY OF CORRECTIVE ITEMS:  
SAN TIMOTEO CANYON SCHOOLHOUSE**

ITEM #	DESCRIPTION	APPROX. COST	EST. COMPLETION	COMPLETED
<b>GENERAL SITE</b>				
0.1	Provide Tow-Away Signage; recommend one per parking lot (1 total)	\$500	Immediate	
<b>1.0 PARKING</b>				
1.1.1, 1.1.2, 1.3.1	Renovate (1) Designated accessible parking space near wagon museum for full compliance, along with (1) standard accessible spaces; will require new concrete to meet necessary grades	\$25,000	June 2021	
<b>2.1 GENERAL CIRCULATION</b>				
2.1.1	Provide site connectivity walk from parking to buildings; currently walks have severe slope issues so major regrading is necessary	\$50,000	June 2025	
<b>2.2 PICNIC AREA</b>				
2.2.1	Regrade for slope compatibility; provide accessible tables (3)	\$25,000	June 2023	
<b>3.1 SCHOOLHOUSE</b>				
3.1.1	Minor/ moderate corrective items - see report	\$10,000	June 2020	
<b>3.2 RESTROOM</b>				
3.1.1	Minor corrective items - see report	\$5,000	June 2020	
	TOTAL OF INDIVIDUAL COSTS (will vary greatly depending on timing and grouping of repairs)	\$115,500		





## APPENDICES

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## APPENDIX A: NEXT STEPS

### CODE UPDATES

This report was prepared in 2018, when the applicable codes included the 2018 California Building Code and the 2010 Americans with Disabilities Act (ADA) Guidelines. The County should consult with a Certified Access Specialist (CASP) during the development of barrier removal plans and/or new construction within existing facilities to ensure the most recent code releases are being utilized.

### ANALYZING PROGRAMS, PUBLICATIONS AND SPECIAL EVENTS

This report highlights the accessibility of Riverside County Parks buildings and parks facilities only. A separate analysis should be executed to ensure that all programs, publications and special events pertaining to the Parks system are within full compliance with the most recent update of the Americans with Disabilities Act (ADA).

### PROVIDING ALTERNATIVE BUT EQUAL EXPERIENCES

Several park amenities were noted to be inaccessible to individuals with physical disabilities, including but not limited to limited mobility and blindness. Where it is not feasible to provide wheelchair access to certain amenities, such as lookout points along steep, narrow hiking trails, the County should make a reasonable attempt to provide an alternative experience, such as a video showing images and describing the features visible from the lookout point.

### ANNUAL SUMMARY OF CORRECTIONS MADE

This report shall be revisited on an annual basis by Riverside County Parks administration and the Certified Access Specialist (CASP) of record to determine which corrections and barrier removal efforts have been made, and to ensure that barrier removal efforts have not caused subsequent barriers to emerge.

## APPENDIX B: CORRECT DIMENSIONS OF COMMON ACCESS BARRIERS

### ACCESSIBLE TOILET COMPARTMENTS

These diagrams depict the proper location of grab bars in relation to the designated accessible toilet, as well as the proper mounting location and height of the toilet paper dispenser.

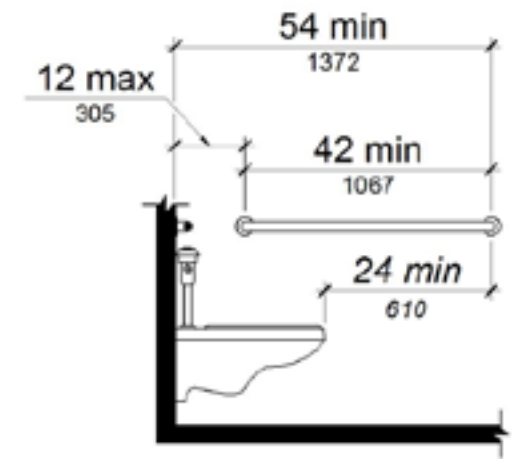


FIGURE 11B-604.5.1  
SIDE WALL GRAB BAR AT WATER CLOSETS

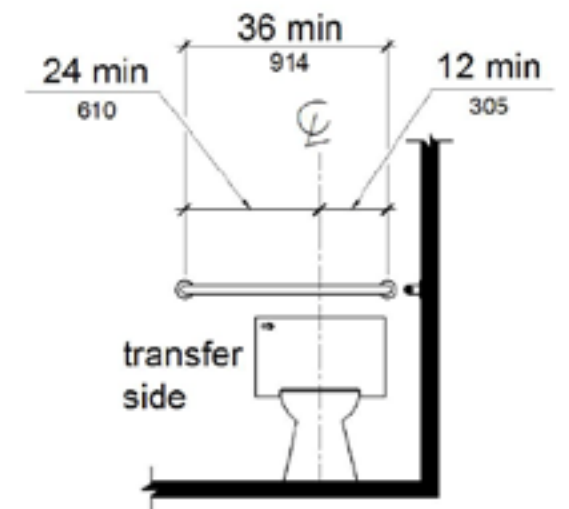


FIGURE 11B-604.5.2  
REAR WALL GRAB BAR AT WATER CLOSETS

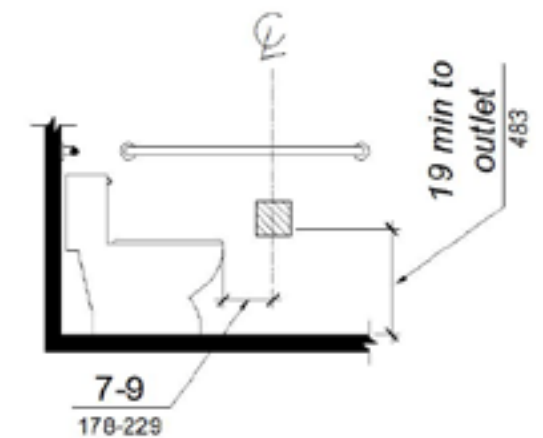
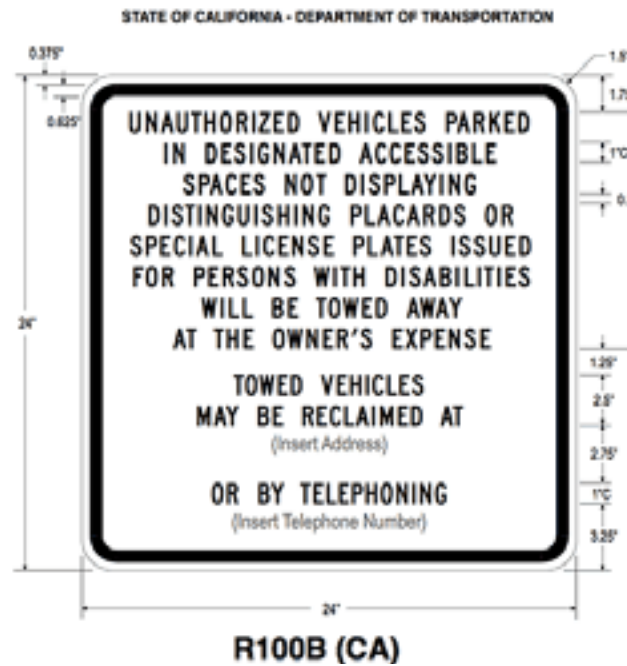


FIGURE 11B-604.7  
DISPENSER OUTLET LOCATION

## PARKING AREA SIGNAGE

These diagrams depict the proper size and mounting height of the parking lot entrance and Designated Accessible Parking Space signage.



## APPENDIX C: SINGLE-USER ALL GENDER TOILET REQUIREMENTS



# BU 17-01

## BULLETIN: IDENTIFICATION OF SINGLE-USER TOILET FACILITIES AS ALL-GENDER

**PURPOSE:** The Division of the State Architect (DSA) provides this bulletin for reference by schools, community colleges, and other entities under its jurisdiction, as an aid in complying with new state law requirements. Subject to approval by the local enforcing agency, this bulletin is also provided for reference by other interested parties as an aid in complying with new state law requirements.

**BACKGROUND:** Assembly Bill 1732 (Ting, Chapter 818, Statutes of 2016) was signed into law on September 29, 2016, to create Health and Safety Code Section 118600, relating to the identification of single-user toilet facilities as all-gender toilet facilities.

Health and Safety Code Section 118600 requires:

- (a) All single-user toilet facilities in any business establishment, place of public accommodation, or state or local government agency shall be identified as all-gender toilet facilities by signage that complies with Title 24 of the California Code of Regulations, and designated for use by no more than one occupant at a time or for family or assisted use.
- (b) During any inspection of a business or a place of public accommodation by an inspector, building official, or other local official responsible for code enforcement, the inspector or official may inspect for compliance with this section.
- (c) For the purposes of this section, "single-user toilet facility" means a toilet facility with no more than one water closet and one urinal with a locking mechanism controlled by the user.
- (d) This section shall become operative on March 1, 2017.

**DISCUSSION:** The following directive is provided for clarity, to address identification of single-user toilet facilities as all-gender, in compliance with the accessibility provisions of California Building Code (CBC) Chapter 11B. It is important to note that the clarification provided herein is not the result of a change in accessibility regulations, and is in accordance with existing accessibility requirements for symbols at entrances for toilet facilities, and wall-mounted designation signs if provided, as is already expressed in both the 2013 CBC and 2016 CBC.

1. The provisions of CBC Chapter 11B require that a sanitary facility that is not specifically identified as for "men" or "women" (referred to in Chapter 11B as a "unisex" facility) have a geometric symbol on the door that is an equilateral triangle superimposed onto a circle. The "unisex" symbol is the only specific indicator required to be provided by Chapter 11B for a toilet facility that is available for use by all





**IDENTIFICATION OF SINGLE-USER TOILET FACILITIES AS ALL-GENDER**

individuals. No pictogram, text, or braille is required on the symbol. (See attachment, Exhibit A.)

**2.** CBC Chapter 11B does not require a wall-mounted designation sign identifying a permanent room or space to be provided for a toilet facility. CBC Chapter 11B provisions for designation signs are conditional and the technical requirements apply only when a designation sign is provided.

**2.1** According to CBC Chapter 11B, where a toilet facility is identified with a designation sign adjacent to the door, the sign is required to comply with the technical requirements for visual characters, raised characters, braille, and must also comply with other accessibility requirements for mounting height, clear floor space, and proximity to the door/entrance of the room. A pictogram is not required to be provided; however, where a facility owner elects to identify a toilet facility with a pictogram, a text descriptor consisting of visual characters, raised characters, and braille is required to accompany the pictogram.

**2.2** DSA does not have the authority to specify designation sign text, nor does DSA have the authority to regulate the image for a pictogram that is provided on a designation sign. The image of the pictogram and text descriptor is left to the discretion of the facility owner/operator. (See attachment, Exhibit B.)

The CBC requirements for use and application of designation signs are consistent with the 2010 Americans with Disabilities Act Standards (2010 ADAS).



**IDENTIFICATION OF SINGLE-USER TOILET FACILITIES AS ALL-GENDER**

**The following information pertains to projects within DSA’s enforcement jurisdiction, namely schools, community colleges, and state-funded facilities:**

**3. Addressing the enforcement provisions of the statute:** HSC §118600 states: "an inspector, building official, or other local official responsible for code enforcement, the inspector or official may inspect for compliance." For projects within DSA enforcement jurisdiction, DSA provides the following guidelines for enforcement:

**3.1 Projects under plan review as of March 1, 2017:** If a project is in plan review, DSA access staff will review that all single-user toilet facilities in new construction, or those undergoing alteration that are part of the project, have the required "unisex" symbols on the door (see attachment, Exhibit A), and indicate that the symbol be provided without text, braille, or use of a pictogram. If the designer has indicated a wall-mounted designation sign will be provided at the single-user toilet facility, DSA will require the sign to be specified in the construction documents, and to be indicated as a designation sign with raised text, corresponding braille, and no pictogram (see attachment, Exhibit B).

**3.2 Single-user toilet facilities in projects under construction, and existing single-user toilet facilities requiring a change of identification symbols:** In accordance with the guidelines provided herein, implementation of the statute for existing single-user toilet facilities and for single-user toilet facilities in projects under construction is to be effected by the school district. The effective date for compliance is March 1, 2017. When changing identification symbols of existing single-user toilet facilities from gender-specific to all-gender, DSA advises against providing a pictogram to represent an all-gender image on a designation sign or unisex symbol. The pictogram might be perceived as inappropriate, and in fact, DSA reminds facility owners that a pictogram is not required.



**IDENTIFICATION OF SINGLE-USER TOILET FACILITIES AS ALL-GENDER**

**ATTACHMENT**

**IDENTIFICATION OF ALL GENDER SINGLE-USER TOILET FACILITIES  
Compliant with the California Building Code (CBC) Chapter 11B**

**EXHIBIT A - Door Symbol (required by the CBC)**

This image represents the door symbol that is required by CBC 11B-216.8 to identify an all-gender/unisex single-user toilet facility. The symbol must comply with the requirements of CBC 11B-703.7.2.6.3. No pictogram, text, or braille is required on the symbol.



**EXHIBIT B - Designation sign on wall**

Designation signs are not required to be provided by the CBC or the 2010 ADAS. If provided, a designation sign adjacent to the door must comply with the scoping requirements of CBC 11B-216.2, and the technical requirements for raised characters (CBC 11B-703.2), braille (CBC 11B-703.3), visual characters (CBC 11B-703.5), and requirements for installation height and location (CBC 11B-703.4). No pictogram is required. The following signs illustrate acceptable examples for designation sign text:



Note: Braille translation not verified by DSA.

**APPENDIX D: AB 1127 - BABY CHANGING STATION REQUIREMENTS**

**Assembly Bill No. 1127**

**CHAPTER 755**

An act to add Sections 15805 and 50535 to the Government Code, and to add Section 118506 to the Health and Safety Code, relating to public accommodations.

[Approved by Governor October 13, 2017. Filed with Secretary of State October 13, 2017.]

**LEGISLATIVE COUNSEL'S DIGEST**

AB 1127, Calderon. Baby diaper changing stations.

(1) Existing law establishes and imposes on state and local agencies various requirements relating to the acquisition, construction, and renovation of public buildings.

This bill would require new construction or renovation of a public building, as specified, that is owned by a state or a local agency, or a portion of a building that is owned by a state or local agency and includes at least one restroom that is open to the public, to provide at least one safe, sanitary, convenient, and publicly accessible baby diaper changing station, as specified. The bill would require each station to be maintained, repaired, and replaced as necessary to ensure safety and ease of use, and to be cleaned with the same frequency as the restroom in which it is located. By imposing a higher level of service on local agencies, the bill would impose a state-mandated local program.

(2) Existing law also requires publicly and privately owned facilities where the public congregates to be equipped with sufficient restrooms to meet the needs of the public at peak hours.

This bill would require various facilities, including a theater, sports arena, or library, to install and maintain at least one baby diaper changing station if the facility is open to the public, as specified.

(3) The bill would set forth findings and declarations stating that ensuring that safe, sanitary, convenient, and publicly accessible baby diaper changing stations are widely available throughout the state is a matter of statewide concern.

(4) The California Constitution requires the state to reimburse local agencies and school districts for certain costs mandated by the state. Statutory provisions establish procedures for making that reimbursement.

This bill would provide that, if the Commission on State Mandates determines that the bill contains costs mandated by the state, reimbursement for those costs shall be made pursuant to the statutory provisions noted above.





*The people of the State of California do enact as follows:*

SECTION 1. Section 15805 is added to the Government Code, to read:

15805. (a) A public building that is owned by a state agency, or a portion of a building that is owned by the state and includes at least one restroom that is open to the public, shall provide at least one safe, sanitary, convenient, and publicly accessible baby diaper changing station that is accessible to women entering a restroom provided for use by women and at least one safe, sanitary, convenient, and publicly accessible baby diaper changing station that is accessible to men entering a restroom provided for use by men, or at least one safe, sanitary, convenient, and publicly accessible baby diaper changing station that is accessible to both men and women. Each station shall include signage at or near the entrance to the station indicating the location of the baby diaper changing station. If there is a central directory identifying, for the benefit of the public, the location of offices, restrooms, and other facilities in the building, that central directory shall indicate the location of the baby diaper changing stations. Each baby diaper changing station shall be maintained, repaired, and replaced as necessary to ensure safety and ease of use, and shall be cleaned with the same frequency as the restroom in which it is located.

(b) (1) Subdivision (a) applies to all new construction, and, except as otherwise provided in paragraph (2), to all renovations of bathrooms for which a permit has been obtained, in which the estimated cost of the new construction or renovation is ten thousand dollars (\$10,000) or more.

(2) Subdivision (a) does not apply to a renovation if a local building permitting entity or building inspector determines that the installation of a baby diaper changing station is not feasible or would result in a failure to comply with applicable building standards governing the right of access for persons with disabilities. The permitting entity or building inspector may grant an exemption from the requirements of this section under those circumstances.

SEC. 2. Section 50535 is added to the Government Code, to read:

50535. (a) (1) A public building that is owned by a local agency, or a portion of a building that is owned by a local agency and includes at least one restroom that is open to the public, shall provide at least one safe, sanitary, convenient, and publicly accessible baby diaper changing station that is accessible to women entering a restroom provided for use by women and at least one safe, sanitary, convenient, and publicly accessible baby diaper changing station that is accessible to men entering a restroom provided for use by men, or at least one safe, sanitary, convenient, and publicly accessible baby diaper changing station that is accessible to both men and women.

(2) Each station shall include signage at or near the entrance to the station indicating the location of the baby diaper changing station. If there is a central directory identifying, for the benefit of the public, the location of offices, restrooms, and other facilities in the building, that central directory shall indicate the location of the baby diaper changing stations. Each baby

diaper changing station shall be maintained, repaired, and replaced as necessary to ensure safety and ease of use, and shall be cleaned with the same frequency as the restroom in which it is located.

(b) (1) Subdivision (a) applies to all new construction and, except as otherwise provided in paragraph (2), to all renovations of bathrooms, for which a permit has been obtained, in which the estimated cost of the new construction or renovation is ten thousand dollars (\$10,000) or more.

(2) Subdivision (a) does not apply to a renovation if a local building permitting entity or building inspector determines that the installation of a baby diaper changing station is not feasible or would result in a failure to comply with applicable building standards governing the right of access for persons with disabilities. The permitting entity or building inspector may grant an exemption from the requirements of this section under those circumstances.

SEC. 3. Section 118506 is added to the Health and Safety Code, to read:

118506. (a) (1) A theater or movie house, grocery store, health facility, convention center, sports arena, auditorium, cultural complex, exhibition hall, library, passenger terminal, permanent amusement park structure, restaurant with an occupancy of at least 60 persons, as determined by the State Fire Marshal, shopping center of more than 25,000 square feet, tourist attraction, or retail store of more than 5,000 square feet shall install and maintain at least one baby diaper changing station if the facility is open to the public. There shall be at least one safe, sanitary, convenient, and publicly accessible baby diaper changing station that is accessible to women entering a restroom provided for use by women and one that is accessible to men entering a restroom provided for use by men, or at least one safe, sanitary, convenient, and publicly accessible baby diaper changing station that is accessible to both men and women.

(2) This section does not apply to an industrial building or to a nightclub or bar that does not permit anyone who is under 18 years of age to enter the premises. This section also does not apply to a restroom located in a health facility if the restroom is intended for the use of one patient or resident at a time.

(b) This section shall not be enforceable by a private right of action.

(c) (1) Subdivision (a) applies to all new construction, and, except as otherwise provided in paragraph (2), to all renovations of bathrooms for which a permit has been obtained, in which the estimated cost of the new construction or renovation is ten thousand dollars (\$10,000) or more. If an entity subject to subdivision (a) is already in compliance with that subdivision at the time of new construction or renovation, additional restrooms equipped with baby diaper changing stations are not required.

(2) Subdivision (a) does not apply to a renovation if a local building permitting entity or building inspector determines that the installation of a baby diaper changing station is not feasible or would result in a failure to comply with applicable building standards governing the right of access for persons with disabilities. The permitting entity or building inspector may



grant an exemption from the requirements of subdivision (a) under those circumstances.

(d) For purposes of this section, the following definitions shall apply:

(1) "Health facility" has the meaning set forth in Section 1250.

(2) "Restaurant with an occupancy of at least 60 persons" does not apply to a restaurant if there is a centrally located facility with a baby diaper changing station that is open to the public and located within 300 feet of the entrance to the restaurant.

SEC. 4. The Legislature finds and declares that ensuring safe, sanitary, convenient, and publicly accessible baby diaper changing stations are widely available throughout the state is a matter of statewide concern, and not a municipal affair. Therefore, Section 2 of this act is applicable to charter cities, charter counties, and charter cities and counties. The Legislature encourages the University of California to comply with Section 1 of this act.

SEC. 5. If the Commission on State Mandates determines that this act contains costs mandated by the state, reimbursement to local agencies and school districts for those costs shall be made pursuant to Part 7 (commencing with Section 17500) of Division 4 of Title 2 of the Government Code.



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